

Mapleton City Council Staff Report

Meeting Date: February 18, 2014

Applicant: Jim Hunter

Location: Approximately 500 West 1600 South

Prepared by: Brian Tucker, Planner

Public Hearing Item: Yes

Zone: A-2/TDR-R

REQUEST

Consideration of Final Plat approval for the Silverado Plat "A" subdivision consisting of fourteen lots located generally at 500 West 1600 South, and a request for a Transferable Development Right Receiving Site overlay zone.

BACKGROUND AND PROJECT DESCRIPTION

The project site is approximately 15.33 acres in size and is located in the A-2 zone at approximately 500 West 1600 South. The project site consists of 4 parcels stretching north from 1600 South to where the future 1200 South will be located. The project site is mostly in the TDR-R Receiving Site Overlay Zone but one parcel does not currently include this zoning designation. The applicant is requesting approval to:

- Apply a Transferable Development Right (TDR) Receiving Site Overlay zone to the entire project area and to use seven TDR's;
- Create a fourteen lot subdivision consisting of 1 acre lots;
- Install an alternative, rural road cross section without curb and gutter between 1600 South and the future 1200 South, to be known as 500 West; and
- Install a half road extension of 1200 South along the northern boundary of the subdivision.

The DRC has reviewed the proposed application and issued the attached minutes.

EVALUATION

TDR's: Mapleton City Code (MCC) Chapter 18.76 indicates that property located within the A-2 zone can be designated as TDR Receiving areas and once a property has been rezoned to include the TDR-R designation density can be increased by one unit for each TDR certificate applied to the property except that the resulting density cannot "exceed double of what the underlying zone designation would allow". The underlying zone allows 2 acre lots and with seven TDR Certificates the applicant wishes to create a subdivision with 1 acre lots.

Zoning: If the City Council authorizes the use of TDR's on this site, the minimum lot size will be 1 acre with a minimum frontage of 125 feet as allowed by Mapleton City Code (MCC) Chapter 18.28.050. The proposed lots comply with these requirements. The surrounding properties contain a mix of developed and undeveloped lots and parcels that vary in size. The developed parcels within ¼ mile vary from .75 to 1 acre while undeveloped parcels may include anywhere from 1 to 5 or more acres. The proposed 1 acre lots will be compatible with the developed lot sizes in the area.

Review Criteria: MCC Chapter 17.04.050.B outlines the review standards that shall be used by the Planning Commission in making its determination. These standards are shown in attachment "1". The proposed project complies with these standards. Since the project will require the use of TDRs, the City Council will be the final decision making body on this project.

Street Design: The Mapleton City Transportation Master Plan encourages the creation of new local roads that incorporate traffic calming design. Street width strongly correlates with traffic speed; wider streets with few visual obstacles encourage faster speeds. Street width is also a major factor in street maintenance costs.

The Land Use Element of the Mapleton City General Plan encourages the preservation of the rural lifestyle in those areas designated as Rural and Low Density Residential. Tradition curbs and gutters are indicative of urban and suburban places while relatively narrow roads with no curb and gutter are more standard in truly rural places. Drainage swales are often used in place of the more urban curb and gutter to handle street run off.

New developments may request site specific street standards and new street standards may be adopted with approval of the city engineer, planning commission and city council. The proposed alternative, rural street was developed in consultation with the Mapleton City Engineer and is intended to be adopted as a standard road cross section to be used in rural and semi-rural areas where densities do not exceed one dwelling unit per acre. A separate item on this agenda addresses the cross section in more detail.

PLANNING COMMISSION RECOMMENDATION AND PUBLIC HEARING COMMENTS

On January 9, 2014 the Mapleton City Planning Commission held a public hearing on the Silverado Subdivision. At the end of the hearing the Commission unanimously voted to recommend approval of the subdivision to the City Council. A number of nearby property owners did take advantage of the opportunity provided by the public hearing to comment on the proposed subdivision. Comments included concerns about ground water, runoff/drainage, sewer line elevation, density, traffic, storage of vehicles on east-west roadways, and adequate school facilities.

Ground Water: Ground water can be an issue in this part of town. A geotech report will be required on every lot prior to construction that will address ground water and soil stability concerns as well as the feasibility of basements. There is no reason to believe that 14 homes and a roadway built on more than 15 acres will raise ground water in this area to any degree.

Runoff/Drainage: Whenever property is developed the amount of impervious surface is increased and additional runoff is created. The city requires developers to address that additional runoff in their plans so that it does not discharge onto adjoining property. In this project the drainage swells along both sides of the road have been sized to act as retention areas during precipitation events. These retention areas, along with the fact that no more than 30% of these 1 acre lots may be covered with buildings, will ensure that no additional runoff will be created for adjoining property. It is anticipated that the additional retention capabilities created by this development will increase the ability of this property to retain existing runoff from mountains and undeveloped areas.

Sewer Line Elevation: The topography of the project area and the need for the sewer to drain to existing infrastructure at a specified slope has dictated that the road will need to be built at a somewhat higher elevation than the existing grade. Public Works is working with the developer to minimize this elevated roadway. Given that the average home in any subdivision will be between 25 and 35 feet high, a road that is elevated 3-5 feet above existing grade in some areas is a minimal visual impact, especially given the fact that the drainage swell will provide an easy slope away from the road.

Density: Every subdivision that has been approved within ¼ mile of this project area has an average lot size of between .75 and 1.25 acres. The proposed 1 acre subdivision lots are of a typical size for developed lots in this part of town. Given that hundreds of TDR certificates remain unused it is unlikely that any future development in this area will include lots that are on average significantly larger than those proposed by the applicant.

Increased Traffic: While a sensitive topic to those who live in the area, the issue of increased traffic due to this new development appears to be minimal. 1600 South is also known as State Highway 147, a UDOT facility. According to UDOT the average annual daily trips, measured a 1600 South and 1600 West, the busiest portion of the roadway segment, has fallen from 3605 daily trips in 2006 to 2045 daily trips in 2012, a 43% decrease. In its role as the Metropolitan Planning Organization for an area that includes Utah County, Mountainland Association of Governments is tasked with projecting traffic congestion in order to prioritize transportation infrastructure improvements. MAG projects that 1600 South will function at an “A” level of service through at least 2040, meaning that it is expected to carrying on average less than 69% of its capacity on a daily basis. The proposed 14 lot subdivision will create between 126 and 154 trips per day. To put it into perspective, this increase in traffic amounts to about one additional trip every 9+ minutes. This increase in traffic is relatively small and certainly does not cause a level of traffic congestion that would result in anything approaching traffic failure.

Storage of Vehicles on East-West Roadways: Given the requirement that at least two off street parking spaces be developed for every home: given the fact that each lot has plenty of additional area for parking; and given the fact that each of the 14 lots has at least 125 feet of frontage available for on street parking; there is no reason to believe that parking would exceed the capacity of on and off street parking opportunities within the development.

Adequate School Facilities: Nebo School District is charged with ensuring that adequate school facilities exist within a given area. The school district is working with the city to build a new elementary school in the Harvest Park area. There is no compelling reason to believe that adequate facilities will not be provided as they are needed.

STAFF RECCOMENDATION

Approve the Final Plat for the Silverado Plat “A” subdivision and the application of a TDR Receiving Site for the project area with the attached findings and condition.

SPECIAL CONDITION

1. Any outstanding issues raised in the DRC minutes dated February 11, 2014 shall be addressed prior to plat recording.

ATTACHMENTS

1. Findings for Decision.
2. Proposed Plat with preliminary construction drawings and proposed street cross sections.
3. DRC Minutes dated 02/11/2014.
4. Planning Commission Minutes.

RESOLUTION NO. 2014-

CONSIDERATION OF A RESOLUTION APPROVING THE FINAL PLAT FOR THE SILVERADO PLAT "A" SUBDIVISION AND A TRANSFERABLE DEVELOPMENT RIGHT RECEIVING SITE (TDR-R) OVERLAY ZONE FOR A PROPERTY LOCATED GENERALLY AT

WHEREAS, title 17 of the Mapleton City Code (MCC) outlines the process and requirements for subdivision approval; and

WHEREAS, MCC Chapter 18.76 outlines the process and requirements for the establishment of a Transferable Development Rights Receiving Site (TDR-R); and

WHEREAS, the Planning Commission has reviewed and approved the Preliminary and Final Plats for the Silverado Subdivision Plat "A" and the TDR-R Overlay Zone; and

WHEREAS, the proposed project complies with title 17 of the MCC as outlined in the findings for decision attached to the City Council Staff Report and with MCC Chapter 18.76.

NOW THEREFORE, BE IT RESOLVED by the City Council of Mapleton, Utah, to approve the Final Plat for the Silverado Plat "A" Subdivision and to approve the TDR-R Overlay Zone for the property with the conditions as outlined in the staff report dated February 18, 2014.

PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF MAPLETON, UTAH,

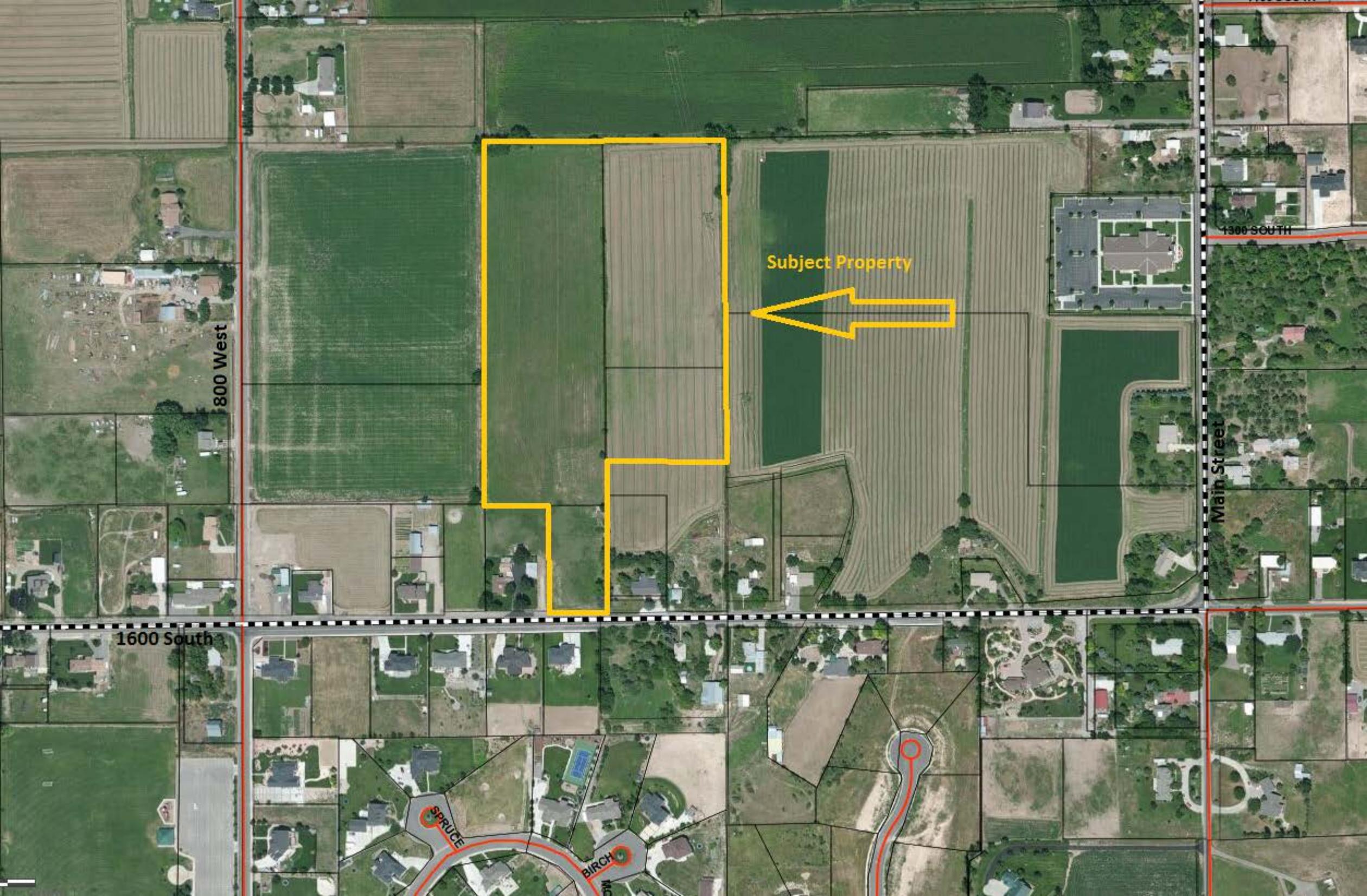
This 18th Day of February, 2014.

Brian Wall
Mayor

ATTEST:

Camille Brown
City Recorder
Publication Date:
Effective Date:

Attachment "1" Findings for Decision		
No.	Findings	
1.	The plans, documents and other submission materials (including technical reports where required) are sufficiently detailed for proper consideration.	✓
2.	The submitted plans, documents and submission materials conform to applicable city standards.	✓
3.	The proposed development conforms to city zoning ordinances and subdivision design standards.	✓
4.	There are not natural or manmade conditions existing on the site or in the vicinity of the site defined in the preliminary plan that, without remediation, would render part or all of the property unsuitable for development.	✓
5.	The project provides for safe and convenient traffic circulation and road access to adjacent properties under all weather conditions.	✓
6.	The project does not impose an undue financial burden on the City.	✓
7.	The location and arrangement of the lots, roads, easements and other elements of the subdivision contemplated by the project are consistent with the city's general street map and other applicable elements of the general plan.	✓
8.	The project plan recognizes and accommodates the existing natural conditions.	✓
9.	The public facilities, including public utility systems serving the area are adequate to serve the proposed development.	✓
10.	The project conforms to the intent of the Subdivision Ordinance as described MCC Chapter 17.01.	✓



Subject Property

800 West

1300 SOUTH

Main Street

1600 South

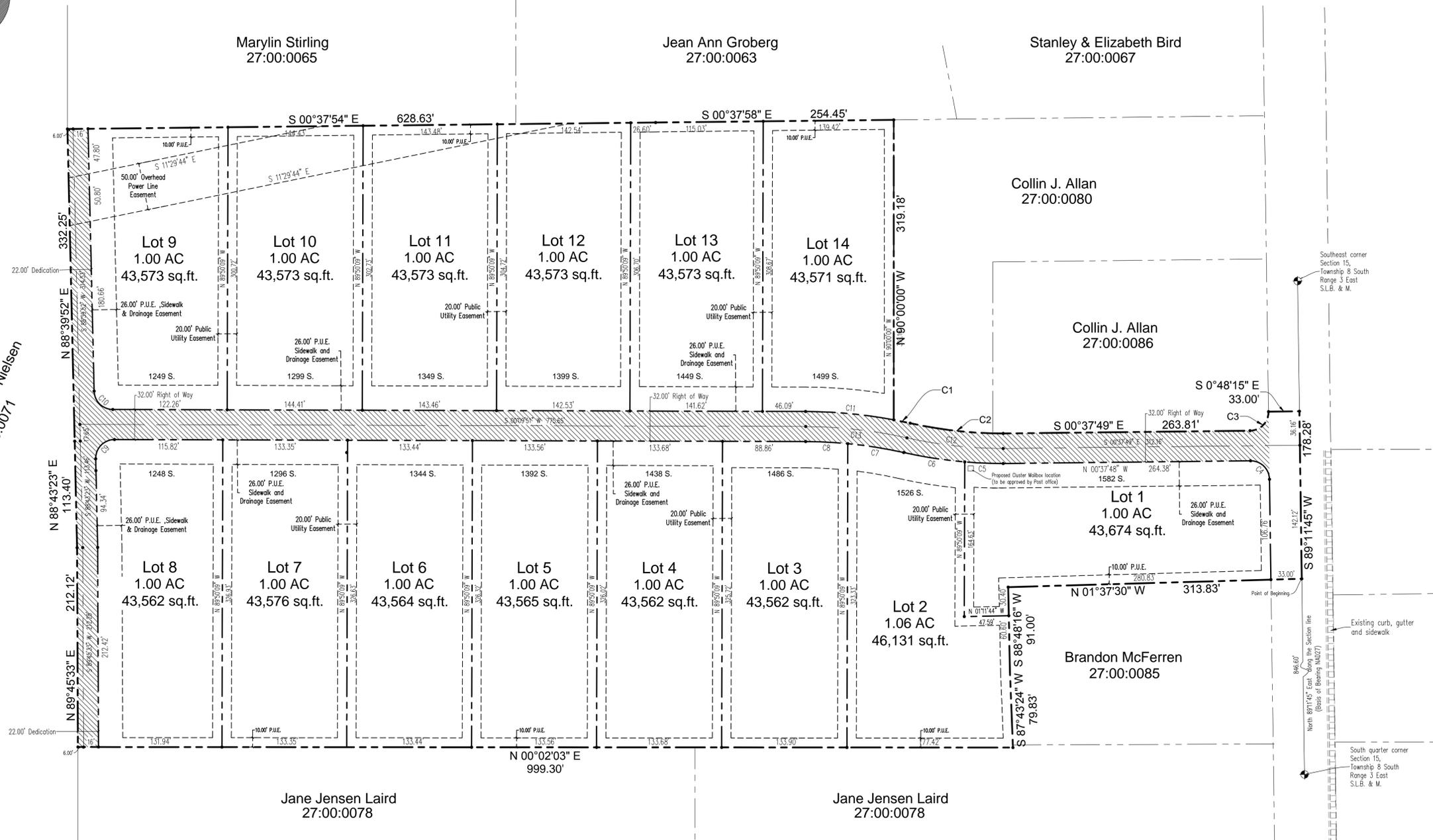
SPRUCE

BIRCH



NORTH
1" = 60'

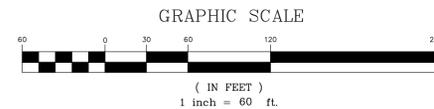
Franklin & Marilyn Nielsen
27:00:0071



Curve	Radius	Length	Chord	Bearing	Delta
C1	738.45	17.99'	17.99'	S 11°34'29" W	123°44'
C2	456.00'	100.18'	99.98'	S 6°16'18" W	123°516'
C3	20.00'	31.48'	28.33'	S 45°43'02" E	90°10'26"
C4	20.00'	31.36'	28.24'	N 44°16'58" E	89°49'34"
C5	488.00'	41.16'	41.15'	S 22°35'59" W	4°49'57"
C6	488.00'	66.04'	65.99'	S 8°41'35" W	7°45'13"
C7	488.00'	60.50'	60.46'	N 9°00'35" E	7°06'11"

Curve	Radius	Length	Chord	Bearing	Delta
C8	488.00'	45.10'	45.09'	N 2°48'38" E	517°45'
C9	20.00'	31.92'	28.64'	N 45°33'23" W	91°26'28"
C11	520.00'	94.75'	94.62'	N 52°1'49" E	102°6'25"
C12	472.00'	108.65'	108.41'	S 55°51' W	131°1'20"
C13	504.00'	108.03'	108.82'	N 6°21'41" E	122°3'40"

Area to be dedicated to Mapleton City.



Note: The proposed subdivision is located in a high water table area, a geo-technical report will need to be submitted which addresses storm water and ground water remediation, storage, distribution and restrictions on basement / habitable floor space. A letter report is required prior to the issuance of a building permit.

Surveyor's Certificate

I, Roger D. Dudley, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 147089, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

Boundary Description

Commencing at a point located North 00°28'23" West along the Section line 403.89 feet and West 986.51 feet from the East quarter corner of Section 15, Township 8 South, Range 3 East, Salt Lake Base and Meridian; thence South 89°28'02" West 338.66 feet; thence North 00°31'47" West partially along the Easterly boundary line of Plat "A", Silver Leaf Subdivision 242.56 feet; thence North 89°00'50" East 336.78 feet; thence South 00°58'17" East 245.23 feet to the point of beginning.

Area: 82,365 SF 1.89 Ac.

Basis of Bearing is North 00°28'23" West along the Section line from the East quarter corner to the Northeast corner of said Section 15.

DATE _____ SURVEYOR (See Seal Below)

Owner's Dedication

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP AND SUBJECT TO ANY CONDITIONS AND RESTRICTIONS STATED HEREON, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF _____ A.D. 20____

Acceptance of Legislative Body

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC THIS ____ DAY OF _____ 2012.

MAYOR APPROVED _____ ATTEST _____ CITY ENGINEER (See Seal Below) CITY RECORDER (See Seal Below)

Rocky Mountain Power Approval

APPROVED THIS ____ DAY OF _____ A.D. 20____ BY Rocky Mountain Power.

Planning Commission Approval

APPROVED THIS ____ DAY OF _____ A.D. 20____ BY THE _____ PLANNING COMMISSION.

COMMUNITY DEVELOPMENT DIRECTOR _____ CHAIRMAN, PLANNING COMMISSION _____

Utility Company Approvals

ROCKY MOUNTAIN POWER _____ QUESTAR _____ CENTURYLINK _____ COMCAST _____ MAPLETON IRRIGATION CO. _____

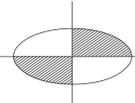
Conditions of Approval

PLAT "A"

Silverado

Mapleton _____ Subdivision Utah County, Utah Scale: 1" = 60 Feet

PREPARED BY



DUDLEY AND ASSOCIATES INC.

Occupancy Restriction Notice

ORDINANCE NO. ____ OF _____ UTAH COUNTY, UTAH, RESTRICTS THE OCCUPANCY OF BUILDINGS WITHIN THIS SUBDIVISION. ACCORDINGLY, IT IS UNLAWFUL TO OCCUPY ANY BUILDING LOCATED WITHIN THIS SUBDIVISION WITHOUT FIRST HAVING OBTAINED A CERTIFICATE OF OCCUPANCY ISSUED BY _____

Acknowledgement (PERSONAL)

STATE OF UTAH COUNTY OF UTAH S.S. ON THE ____ DAY OF _____ A.D. 20____ PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME. MY COMMISSION EXPIRES : _____ NOTARY PUBLIC (SEE SEAL)

Acknowledgement (CORPORATE)

STATE OF UTAH COUNTY OF UTAH S.S. ON THE ____ DAY OF _____ A.D. 20____ PERSONALLY APPEARED BEFORE ME _____ AND _____ WHO BEING BY ME DULY SWORN DID SAY EACH FOR HIMSELF, THAT HE, THE SAID _____ IS THE PRESIDENT AND HE THE SAID _____ IS THE SECRETARY OF _____ CORPORATION, AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS AND SAID _____ AND _____ EACH DULY ACKNOWLEDGE TO ME THAT SAID CORPORATION EXECUTED THE SAME AND THAT THE SEAL AFFIXED IS THE SEAL OF SAID CORPORATION. MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING AT _____

CORPORATE SEAL SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY-COUNTY ENGINEER SEAL CLERK-RECORDER SEAL



NORTH
1" = 30

Lot 9
1.00 AC
43,573 sq.ft.

Lot 10
1.00 AC
43,573 sq.ft.

Lot 11
1.00 AC
43,573 sq.ft.

Lot 12
1.00 AC
43,573 sq.ft.

Lot 13
1.00 AC
43,573 sq.ft.

Lot 14
1.00 AC
43,573 sq.ft.

Lot 8
1.00 AC
43,562 sq.ft.

Lot 7
1.00 AC
43,576 sq.ft.

Lot 6
1.00 AC
43,564 sq.ft.

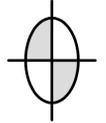
Lot 5
1.00 AC
43,565 sq.ft.

Lot 4
1.00 AC
43,562 sq.ft.

Lot 3
1.00 AC
43,562 sq.ft.

Lot 2
1.06 AC
46,132 sq.ft.

Lot 1
1.00 AC
43,675 sq.ft.



DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

Silverado Subdivision
Grading and Drainage Plan

Utah

Mapleton

Revisions

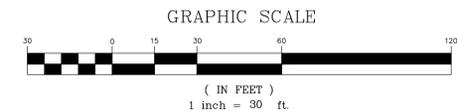
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1" = 50'
By
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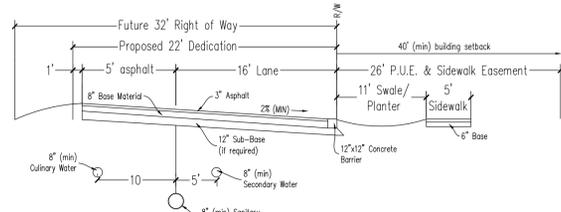
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Know what's below. 811
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

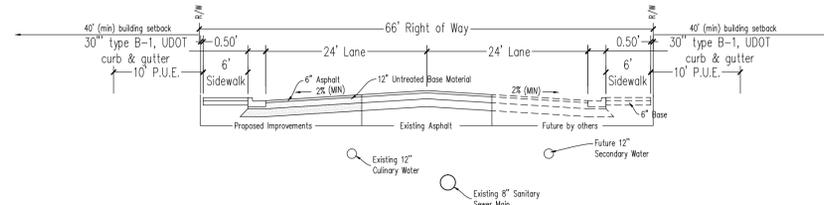
CAUTION!!! Notice to contractors

The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field. The information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to request the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.

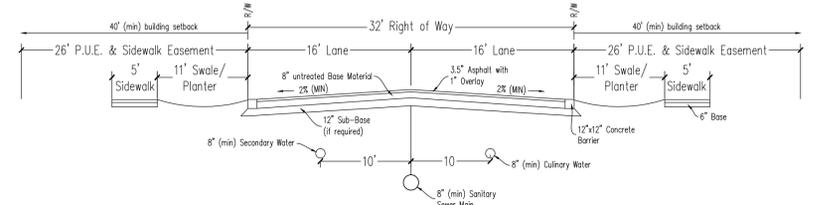




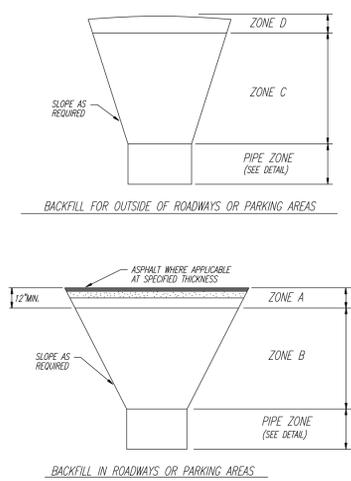
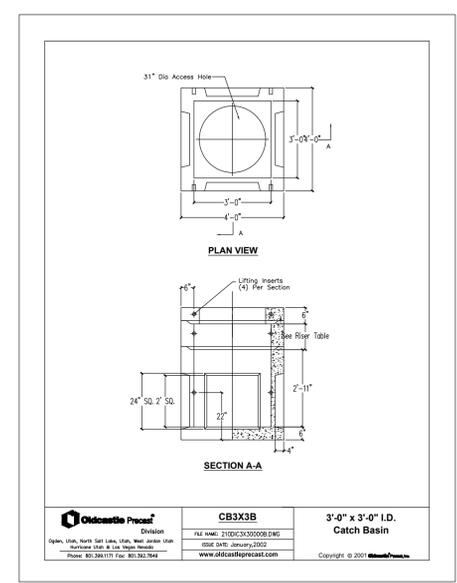
22' Street Cross Section
A-2 Zone Rural Local Street
1200 South Street



66' Street Cross Section
(1600 South Street)



32' Street Cross Section
A-2 Zone Rural Local Street
(500 West Street)



- ZONE A** SHALL BE GRANULAR ROADBASE AT THICKNESS SPECIFIED OR EQUAL TO PREVIOUSLY EXISTING CONDITIONS AND MINUS 4\"/>

ZONE B MINUS 6\"/>

ZONE C MINUS 6\"/>

ZONE D SHALL CONSIST OF LOOSE TOPSOIL SALVAGED BEFORE EXCAVATION OF MATERIAL.

ZONE 1 CONSOLIDATED MINUS 2\"/>

ZONE 2 SHALL BE CONSOLIDATED MINUS 2\"/>

ZONE 3 SHALL CONSIST OF CONSOLIDATED GRANULAR MATERIAL WITH MAX. PARTICLE SIZE NOT TO EXCEED 1\"/>

ZONE 4 SHALL CONSIST OF THE SAME MATERIALS AS ZONE 3 COMPACTED BY PNEUMATIC TAMPERS TO A MIN. DENSITY OF 90% OF STANDARD PROCTOR MAX. DENSITY (ASHOTO T-99) TESTS SHALL NOT EXCEED 8\"/>

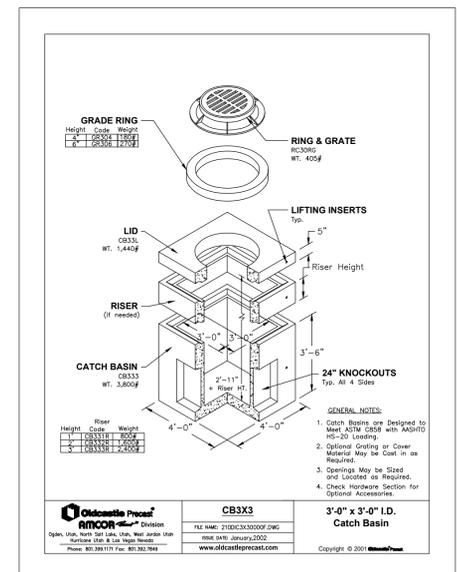
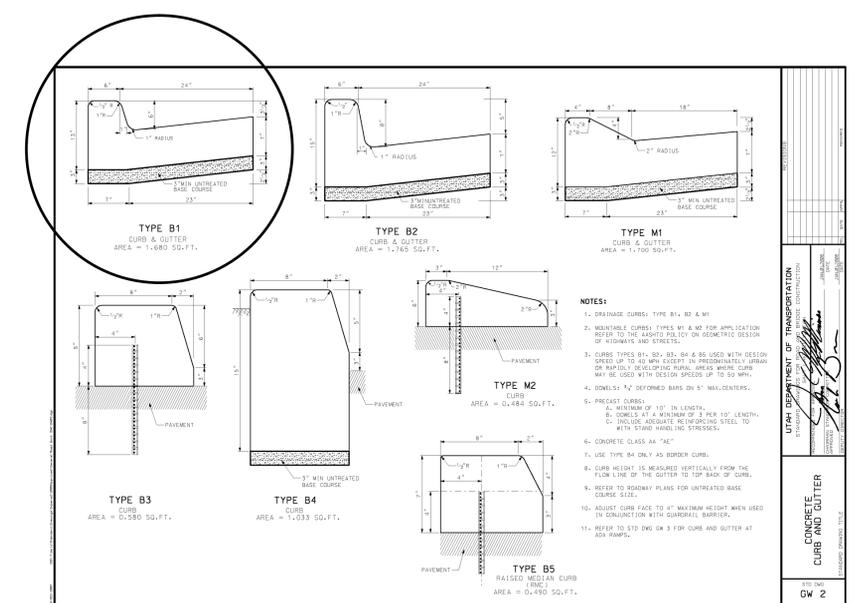
ZONE 5 SHALL BE MINUS 1/2\"/>

ZONE 6 SHALL CONSIST OF CONSOLIDATED MINUS 1/2\"/>

ZONE 7 SHALL CONSIST OF CONSOLIDATED SAND.

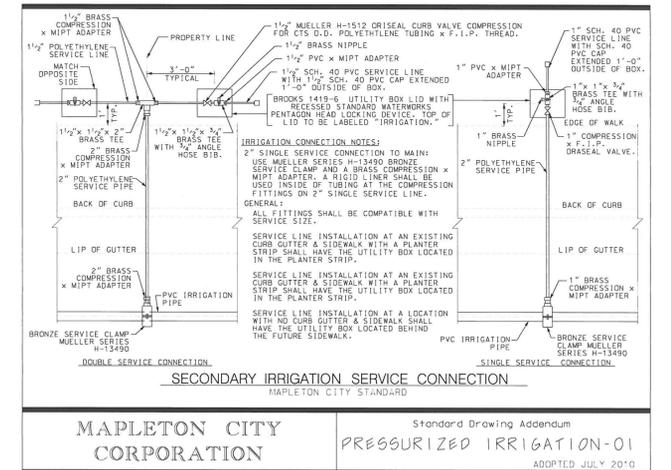
CONSOLIDATION SHALL CONSIST OF INDENTATION BY WATER SETTING OR BY HAND OR LIGHT MECHANICAL TAMPER COMPACTION AFTER THE PIPE ZONE HAS BEEN FILLED WITH PROPER MATERIAL.

Trench Details



- 3/4\"/>
 - METER PLACEMENT:
 - In new construction, install meter at center of lot or per agency requirements.
 - All meters are to be installed in the park strip or within 7 feet of the property line (street side).
 - Do not install meters under driveway approaches, sidewalks, or curb and gutter.
 - METER BOX:
 - In landscaped areas and driveway approaches, set box so grade of the frame and cover matches the grade of the surrounding surface.
 - In street surfaces or other vehicular traffic areas, provide the same type of meter box as required for 1 1/2\"/>
 - PIPE: Coordinate with utility agency or property owner for type of pipe to be used outside of right-of-way.
 - INSPECTION: Prior to backfilling around meter box, secure inspection of installation by ENGINEER.
 - BACKFILL: Provide and place per APWA Section 33 05 20. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness is 8 inches before compaction.
 - CASTING: Grey iron class 35 minimum per ASTM A 48.**

- 3/4\"/>
 - TAPPING: Place taps a minimum of 24 inches apart. Use a tapping tool that is sized corresponding to the size of the service line to be installed. No taps within 24 inches of end of pipe.
 - PVC OR AC PIPE: A service saddle clamp is required on all PVC and AC pipe taps unless specified otherwise.
 - TAPE: Teflon tape is required on all taps.
 - INSPECTION: Prior to backfilling around taps, secure inspection of installation by ENGINEER.
 - BACKFILL: Provide and place per APWA Section 33 05 20. Compact per APWA Section 31 23 26 to a modified proctor density of 95 percent or greater. Maximum lift thickness is 8 inches before compaction.**



MAPLETON CITY CORPORATION
Standard Drawing Addendum
PRESSURIZED IRRIGATION-01
ADOPTED JULY 2010

DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

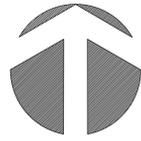
Detail Sheet

Revisions

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Tracing No.: L-12994

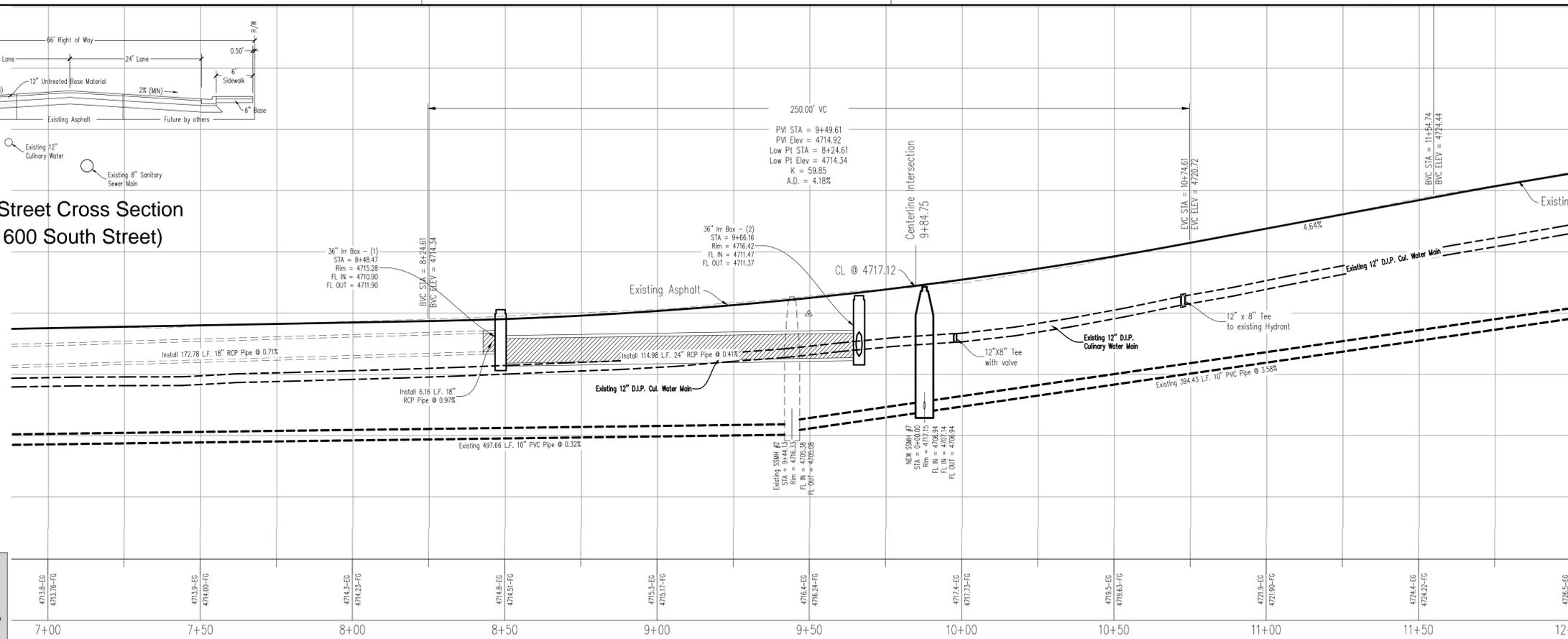
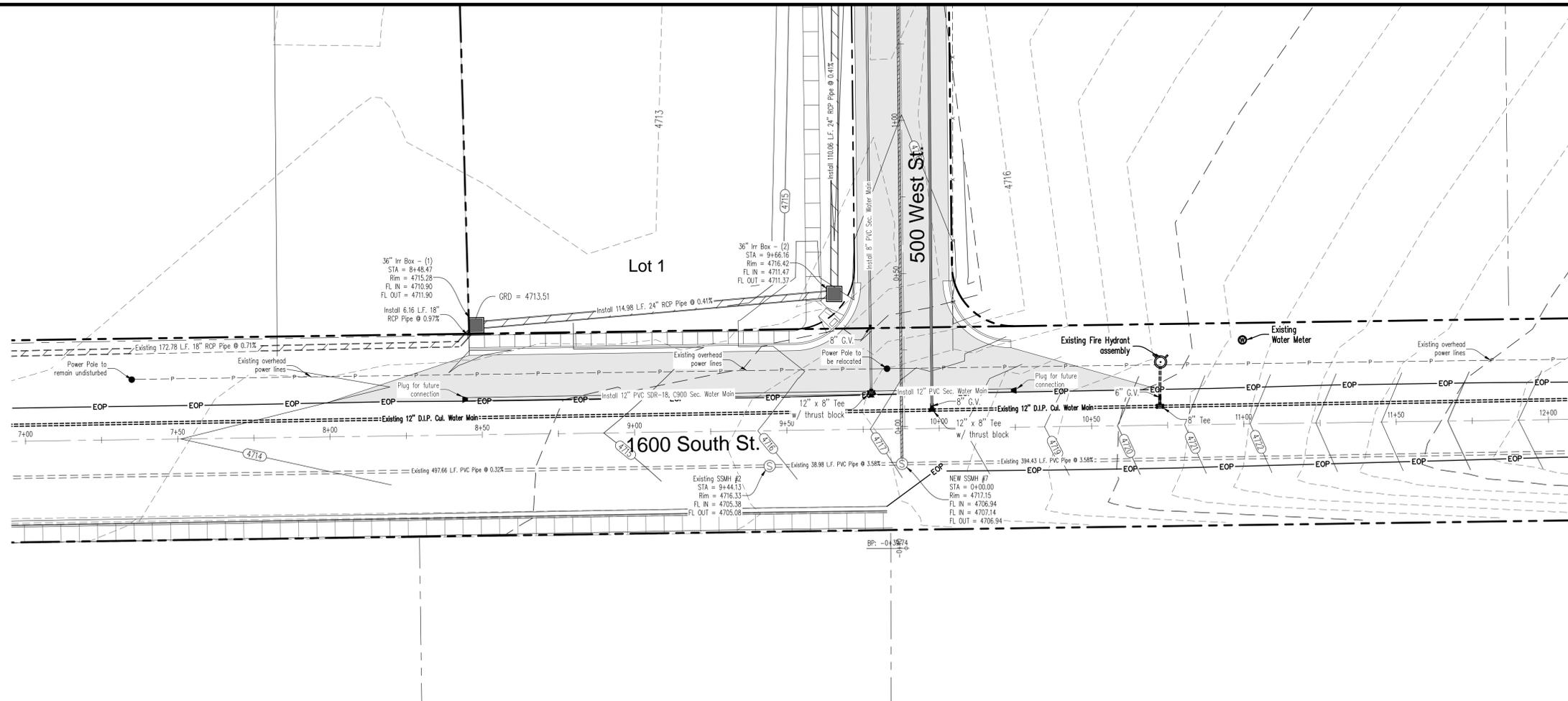
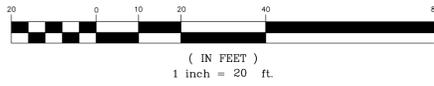
Sheet No.: C-5.0

Refer to the APWA Standards and the Mapleton City Addendum for details such as fire hydrants, sewer laterals, PI connections, Water lines, etc. Not all city details are included in this document set.



1" = 20'

GRAPHIC SCALE



66' Street Cross Section (1600 South Street)

CAUTION!!! Notice to contractors
The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field. The information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to request the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.

Know what's below. 811
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

Street Improvement Plan
Silverado Subdivision
Utah
Mapleton

Revisions

No.	Description

Date
Scale
1" = 20'
By
TD
Tracing No.
L -

Sheet No.
P - 1

MAPLETON CITY DEVELOPMENT REVIEW COMMITTEE MINUTES

February 11, 2014

125 West Community Center Way (400 North), Mapleton, Utah 84664

Jim Hunter resubmitted a subdivision plat and construction plans for the Silverado Subdivision "A" on February 4, 2014. The project includes 14 lots located generally at 500 West 1600 South in the A-2/TDR-R Zone. Based on a meeting with Jim and David Hunter on February 10, 2014 revised plans were submitted that same afternoon. Based on a phone conversation with Jim Hunter on February 11, 2014, sheet C-5.0 was resubmitted that same afternoon. These comments are based on these revised plans.

Community Development Department

Sean Conroy, Community Development Director, Phone: (801) 806-9101, Fax: (801) 489-5657

Email: sconroy@mapleton.org

Brian Tucker, Planner, Phone: (801) 806-9108, Fax: (801) 489-5657

Email: btucker@mapleton.org

Please address the following concerns in revised drawings:

General Comments:

1. Submit evidence of ability to satisfy water rights conveyance requirements with subdivision application. 14 irrigation shares must be dedicated from the Mapleton or Hobbie Creek Irrigation Companies. Mapleton City has evidence on hand of 6.5 shares of Mapleton Irrigation and 16 shares of East Bench Irrigation. Mapleton cannot make use of the East Bench shares in this location.
2. Submit evidence of ability to meet the TDR Certificates requirements with subdivision application. 7 TDR Certificates will be needed to create the proposed 14 lot subdivision but the city only has evidence on hand of 5 TDR Certificates.

Comments for revised plans submitted February 10, 2014 and sheet C-5.0 submitted February 11, 2014:

1. The 1200 South Street cross section on page C-5.0 calls for a "half plus five" street cross section, a cross section that includes 21' of ROW dedication. The plat shows a 16' street dedication and a 6' street dedication in two separate notations. This creates confusion as to what the dedication is and must be clearly noted on the final plat.
2. Details on pages P-2, P-3, P-4 and C-5.0 make reference to a 34' street cross section that is actually only 32' wide. To avoid confusion these references must all be consistent with the 32' cross section.
3. A detail must be submitted that shows drive approach requirements through the 11' drainage swales for vehicular access to the individual lots.
4. Details on pages P-3 and P-4 show a road edge for 1200 South that is 7-9' above the existing ground. This edge must be tapered back to the existing ground in accordance with Mapleton City Standards so that the edge is not left "hanging" above neighboring property.

Engineering and Public Works Division

Gary Calder, City Engineer, Phone (801) 489-6253, Fax (801) 489-5179

Email: gcalder@mapleton.org

Scott Bird, Public Works Operation Director, Phone (801) 489-6253, Fax (801) 489-5179

Email: sbird@mapleton.org

Address the following concerns in revised drawings:

Project: Silverado Subdivision

Date: February 11, 2014 Afternoon

Miscellaneous:

1. **Submit preliminary and final plans per Chapter 17.08 DOCUMENTATION REQUIREMENTS of the Mapleton City Code.**

2. Receive irrigation company approval for work on irrigation company ditches. Show Ditches. Ditches to be relocated behind sidewalk.
3. **Use APWA Standard Specifications and Plans and Mapleton City Addendum to APWA. Show all applicable standard drawings per APWA and Mapleton City Addendum to APWA.**
4. Plat shows NE roadway radius on Collin Allan Property.
5. UDOT Permit Required 1600 South is SR-147.

Site Grading:

1. Remove all concrete that does not meet current city standards i.e. broken/cracked sections, used drive approaches etc.

Water System:

1. Water model to be submitted to RB&G for review, to assure proper sizing of pipe and fire flows. The cost of this is the responsibility of the developer.
2. Verify water main location on 1600 South Road.
3. Change 8-inch DIP to 12-inch DIP on 1600 South Sheet No. P-2 Plan.

Pressurized Irrigation System:

1. Removal of abandoned water main on 1600 South may be required to place 12" PVC C900 Pressurized Irrigation Main.
3. Show Pressurized Irrigation-01 Detail for pressurized irrigation service with Pressurized Irrigation Service Meter Detail for PI meter box on Sheet C-50. The one shown is the old drawing.
3. Show 8-inch minimum for all Pressurized Irrigation Pipe on Street Cross-Sections.

Sewer System:

1. Show Plan and Profile Drawings. Show existing ground profile legibly on all sheets.
2. Change Existing Sewer Main 1600 S. from a 8-inch 10-inch (See Sheets No. P-1 and P-2)
3. Minimum 8-inch sewer slope is 0.00334. This slope will save 2 feet of fill on the east end of 1200 West Street.

Roadway:

1. Show Plan and Profile Drawings. Show existing ground profile legibly on all sheets.
2. Roadway: All standard drawings shall comply with APWA standard drawings and Mapleton City Addendum to APWA, this Addendum can be located on the Mapleton City web page - Mapleton.org.
3. Road x-sections:
 - a. 34' R/W 500 West: Change to 32' R/W on 500 West/1200 North Cross Section
 - b. Will Require New Curb Detail with matching 2% matching pavement slope.
5. Concrete collars required on all manholes and valve covers, use APWA standards.

Storm Drain:

1. Show Plan and Profile Drawings.
2. Storm water calculations: shall be designed for 100 year storm.
3. The basins/swells will need a maintenance plan/agreement submitted as per Storm Drain Ordinance, show landscaping of basins/swells with drive approach detail.
4. SWPPP and Land Disturbance Permit will be required.

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MAPLETON CITY
PLANNING COMMISSION MINUTES
January 9, 2014

5 **PRESIDING AND CONDUCTING:** Chairman Rich Lewis
6
7 **Commissioners in Attendance:** John Gappmayer
8 Golden Murray
9 Thomas Quist
10 Keith Stirling
11 Alternate – Justin Schellenberg
12
13 **Staff in Attendance:** Sean Conroy, Community Development Director
14
15 **Minutes Taken by:** April Houser, Executive Secretary
16

17 Chairman Lewis called the meeting to order at 6:30pm. Thomas Quist gave the invocation and Golden
18 Murray led the Pledge of Allegiance.

19
20 *Items are not necessarily heard in the order listed below.*

21
22 Rich Lewis was nominated as the Planning Commission Chairman for 2014.

23
24 **Motion:** Commissioner Murray nominated Rich Lewis as the Planning Commission Chairman for
25 2014.
26 **Second:** Commissioner Gappmayer
27 **Vote:** Unanimous
28

29 Golden Murray was nominated in as the Planning Commission Vice-Chairman for 2014.

30
31 **Motion:** Commissioner Stirling nominated Golden Murray as the Planning Commission Vice-
32 Chairman for 2014.
33 **Second:** Commissioner Gappmayer
34 **Vote:** Unanimous
35

36 **Item 1. Planning Commission Meeting Minutes – December 12, 2013.**

37
38 **Motion:** Commissioner Gappmayer moved to approve the December 12, 2013 Planning
39 Commission Minutes.
40 **Second:** Commissioner Murray
41 **Vote:** Unanimous
42

43 **Item 2. Consideration of Preliminary and Final Plat approval of the “Silverado Plat A”**
44 **subdivision consisting of fourteen lots located generally at 500 West 1600 South, and**
45 **a request for a Transferrable Development Right Receiving Site Overlay Zone.**
46

47 **Sean Conroy**, Community Development Director, went over the Staff Report for those in attendance.
48 The proposed development is just over 15 acres in size, with a majority of the property having a TDR-R

49 Overlay in the A2 Zone. The applicant would like to do fourteen (14) 1-acre lots. The new street running
50 north and south on the property would be approximately 500 West. Before the development is recorded
51 the currently proposed Lot 1 would need to have the “flag lot” layout fixed. The City is hoping to go
52 back to more of a rural feel with the improvements in this development. This would consist of an asphalt
53 road at approximately 34’ in width with a concrete strip, an 11’ swell and 5’ sidewalk. The future 1200
54 South street will be a wider asphalt width with curb and gutter, as this will be more of a major street in the
55 city. Each lot will have small retention basins as opposed to one large basin to handle all of the rain water
56 for the entire development. Part of the Development Review Committee (DRC) comments will be to
57 provide a Geotech Report before the development is finalized. **Commissioner Stirling** stated that in this
58 area there is typically standing water in the later summer months. He wanted to make sure the water
59 coming off these lots would not be contaminated in regards to Storm Water Management. Sean stated
60 that this approach is a low impact way of handling storm water. From a snow removal standpoint it is a
61 much better situation to have a park strip type area like is being proposed in this development.
62

63 **Dave Hunter**, developer, stated that this was an approved project before the economy started having
64 issues a few years back. They originally had two retention ponds set out in their proposal and was asked
65 directed by the city to consider doing retention areas on each lot. They feel this is meeting the direction
66 that staff has given them. Test pits were dug the beginning of September for this project. **Commissioner**
67 **Stirling** had some concerns with flooding on these homes. **Commissioner Schellenberg** asked what the
68 City plans to do with the raising of streets as they move north from this area. Sean stated that he was not
69 exactly sure how this was going to be addressed, but that the Breckenridge development sloped their
70 street back down as it headed north.
71

72 **Chairman Lewis** opened the Public Hearing. **Ron Jensen** has a concern with the raised road. He
73 already has one with the street behind him, and does not want another one to the side of him. He said the
74 water will almost surface during the summer months in this area and feels the developers should be held
75 liable if there are flooding issues. Mr. Jensen thinks this should be looked at a little more before decisions
76 are made, and wants everything to work right. **Ronald Duffin** stated that their water is so horrible now
77 with iron that they can hardly stand it. He feels a development here will make this problem worse if there
78 are not adequate wells and wants the City to address it. He has lived here 50 years and has watched this
79 property fill with water from the flow off the mountains and the springs in the area. There is a huge
80 amount of water that sits out on this ground and is there clear through the spring thaw. He has watched
81 water on the south side of the street in this area fill homes with a foot of water. Ronald does not think
82 basements should be allowed in this area. This problem continues as far south as you want to go. Sean
83 stated that the city well does meet all state health standards, but that the City has taken the initiative to
84 budget a significant amount of money to address this situation. We are taking steps to correct this issue.
85 As far as the subdivision plat goes, there will be documentation on the plat indicating that this
86 development is in a high water area, and that installing basements would be at the property owners own
87 risk. Each individual lot is required to have a test pit dug on it before any building permits are issued, and
88 must ensure that the home is built 3’ above the highest water level mark. **Brendon McFarron** does not
89 really know how much of this has been voted on, but he has 2 concerns. The first is wanting to maintain
90 the feel of Mapleton by keeping the lots larger and more rural. He does not want to see another street
91 installed that is like the one in the Breckenridge Estates development. His second concern is the water in
92 his basement, and says there is water there on a regular basis and hopes this development will not worsen
93 this problem for him. **Scott Liggett** stated that a lot has happened since this property was originally
94 approved for development years ago. He has a drainage concern as well, but feels that the city needs to
95 consider more area of land being affected than that of just the development. When you start displacing all
96 this ground water it has to go somewhere. The run off water will be displaced to the neighbors. He feels
97 that the excuse of the sewer line location should not dictate how we allow future developments to go in,
98 leaving the previously built homes to suffer. He objects to having the 1-acre lots feeling it does not
99 maintain the rural feel Mapleton is known for. His children have to go to Sierra Bonita Elementary

100 School since all of the capacity is reached at Mapleton Elementary School. He does not feel the current
101 Adequate Public Facilities can be met with another development going in here. Commissioner Stirling
102 gave a brief history of how the Transferrable Development Right (TDR) Program works, and in order to
103 preserve the mountain side this was a sacrifice that had to be made. Ron Jensen stood again and stated
104 that Ivory Homes said their street would not go over 4'-6' in height and it's over 9'. He wonders what
105 way this sewer is going to run, and if it is going to be the same way. Mr. Jensen thinks there needs to be
106 some more options with this. **Kim Gardener** moved to Mapleton for the rural community. He agrees
107 with everything his neighbors have stated previously. Mr. Gardener is also concerned with traffic. The
108 partial vertical streets being installed in this development will be approximately 26' wide. Sean stated
109 that every property owner has the right to develop. The city as far as preserving open space only has so
110 many options. There are a lot of clustering options allowed, so a developer can propose a development
111 like they are doing. Kim wanted to ensure vehicles would not be stored on the east/west running streets in
112 the area. Ron Duffin stood again and wondered if there were plans for the traffic flow in this area. They
113 have a hard time getting out of their lots as it is. 1600 South can not handle all of this traffic. He
114 wonders how emergency vehicles will be able to get up and down this street. Sean stated that street
115 widening is typically done as developments take place. Currently he is certain that we are far from a level
116 of failure on this street. **Mrs. McFerron** wonders what the city's plan is to complete some of the
117 developments in the area that have been started but not completed. She is curious about the construction
118 process, and wondered if the rezone by her home had been approved for the use of TDR's. They feel like
119 there is not adequate room to add an additional lot between her home and the proposed street, and would
120 object to a home and lot being put there. Sean stated that building permits can be applied for once the
121 improvements have been installed. He feels the road width will be substantially less, giving it a much
122 more rural feel, than that of Breckenridge Estates. **Cory Bird** wonders what the plan is in regards to
123 pressurized irrigation, and will it be operable. All the city is requiring at this point is for the dry lines to
124 be installed so that when the water becomes available these areas can connect. **Commission Gappmayer**
125 felt if property owners had concerns on where the water would be coming from that they should address it
126 with the City Engineer, or other city officials. **Marylyn Stirling** has a question about the impact on their
127 property with having this development elevated directly next to theirs. Sean stated that the street will go
128 up through the development and back down when it reaches the north end of the property. She is
129 concerned about this happening and does not appreciate it at all. Sean reiterated that there will be no
130 elevation change when it reaches their property. The applicant stated that the intent is to bring it back
131 down to match the existing elevation on the property. Commissioner Stirling asked if there was any
132 history or evidence that these types of on individual lot retention basins work properly. Sean stated that
133 the literature on this is pretty substantial. This is not a new road design feature. More rural roads have a
134 similar design. The city feels this would be appropriate. There are requirements in the City Code that
135 require the property owners to maintain their park strip area. Commissioner Schellenberg feels this
136 design could be successful if there are proper rules in place when the development is recorded. There will
137 be a deed recorded on the land stating how this will be maintained. Sean stated that it is not the
138 Commission's responsibilities to look at the buildings being put on this property, but to decide if it meets
139 the City Codes. No additional comments were given and the Public Hearing was closed.

140
141 Sean stated that any property in the A2 Zone is eligible to apply to use TDR's. Commissioner Stirling
142 wanted to make sure the improvements are installed correctly over time.

143
144 **Motion:** Commissioner Murray moved to recommend approval to the City Council for the Final
145 Plat of the "Silverado Plat A" subdivision consisting of fourteen lots located generally at
146 500 West 1600 South, and a request for a Transferrable Development Right Receiving
147 Site Overlay Zone with the recommendations listed below:

- 148 1. Any outstanding issues raised in the Development Review Committee (DRC)
149 minutes dated December 10, 2013 shall be addressed prior to plat recording.

