

Mapleton City Council Staff Report

Meeting Date: May 6, 2014

Applicant: Brant Tuttle, Northern Engineering
Location: Approximately 400 South Main Street
Prepared by: Brian Tucker, Planner
Public Hearing Item: No
Zone: RA-1

REQUEST

Consideration of a Resolution approving the Final Plat of the Harvey Subdivision Plat "B", consisting of four lots located generally at 400 South Main Street.

BACKGROUND AND PROJECT DESCRIPTION

The project site is approximately 4.81 acres and is located in the RA-1 zone at approximately 400 South Main Street. The project site consists of the remainder parcel from the one lot Harvey Subdivision Plat "A" approved and recorded in 1998. The applicant is requesting approval construct and dedicate 400 South to provide frontage for 4 new building lots and for subdivision approval for those 4 lots.

EVALUATION

General Plan: The General Plan indicates that this property should develop in a low density manner. The proposed acre lots are very much in line with this indication.

Master Transportation Plan/Street Design: The Mapleton City Transportation Master Plan does not indicate that a road in this location is required, however a street constructed as proposed in this subdivision application would provide access to undeveloped and underdeveloped property located to the east of the project area. The transportation map shows primary access to the area bounded more or less by Maple Street and 900 South and by Main Street and 1200 East as having future access from a future major local street off of East Maple Street. The additional access created by this previously unforeseen connection would be welcome for creating interconnectivity for this largely inaccessible area. The proposed street design is a standard design for a local access street.

Zoning: Lots located within the RA-1 zoning district the minimum lot size will be 1 acre with a minimum width of 125 feet as allowed by Mapleton City Code (MCC) Chapter 18.32.050. The proposed lots comply with these requirements.

Review Criteria: MCC Chapter 17.04.050.B outlines the review standards that shall be used by the Planning Commission in making its determination. These standards are shown in attachment "1". The proposed project complies with these standards.

PLANNING COMMISSION ACTION

On April 24, 2014 the Mapleton City Planning Commission held a public hearing on the Harvey Subdivision Plat "B" application. Public comment was given concerning the open irrigation ditch on the eastern edge of the property, interaction between agricultural/livestock uses on adjoining property and the future homeowners, and the potential loss of views for existing property owners. The Planning Commission recommended that the City Council approve the "Harvey Subdivision Plat B" with the following special conditions:

1. Any outstanding issues raised in the DRC minutes dated February 12, 2014 and April 8, 2014 shall be addressed prior to plat recording.
2. A letter be sent to the Irrigation Company asking that the irrigation ditch be piped, or safety fencing be installed if piping is not required, to ensure safety in the area.

STAFF RECOMMENDATION

Adopt a Resolution approving the Final Plat for the "Harvey Subdivision Plat B" with the attached findings and condition.

SPECIAL CONDITION

1. Any outstanding issues raised in the DRC minutes dated April 8, 2014 shall be addressed prior to plat recording.

ATTACHMENTS

1. Findings for Decision.
2. Proposed Plat with preliminary construction drawings and proposed street cross sections.
3. DRC Minutes dated 4/8/2014.
4. Planning Commission minutes dated 4/24/2014.

RESOLUTION NO. 2014-

CONSIDERATION OF A RESOLUTION APPROVING THE FINAL PLAT OF THE HARVEY SUBDIVISION PLAT "B", CONSISTING OF FOUR LOTS LOCATED GENERALLY AT 400 SOUTH MAIN STREET.

WHEREAS, title 17 of the Mapleton City Code (MCC) outlines the process and requirements for subdivision approval; and

WHEREAS, the Planning Commission has reviewed and approved the Preliminary and Final Plats for this subdivision; and

WHEREAS, the proposed project complies with title 17 of the MCC as outlined in the findings for decision attached to the City Council Staff.

NOW THEREFORE, BE IT RESOLVED by the City Council of Mapleton, Utah, to approve the Final Plat for the Harvey Plat "B" subdivision with the findings and conditions as outlined in the staff report dated May 6, 2014.

PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF MAPLETON, UTAH,

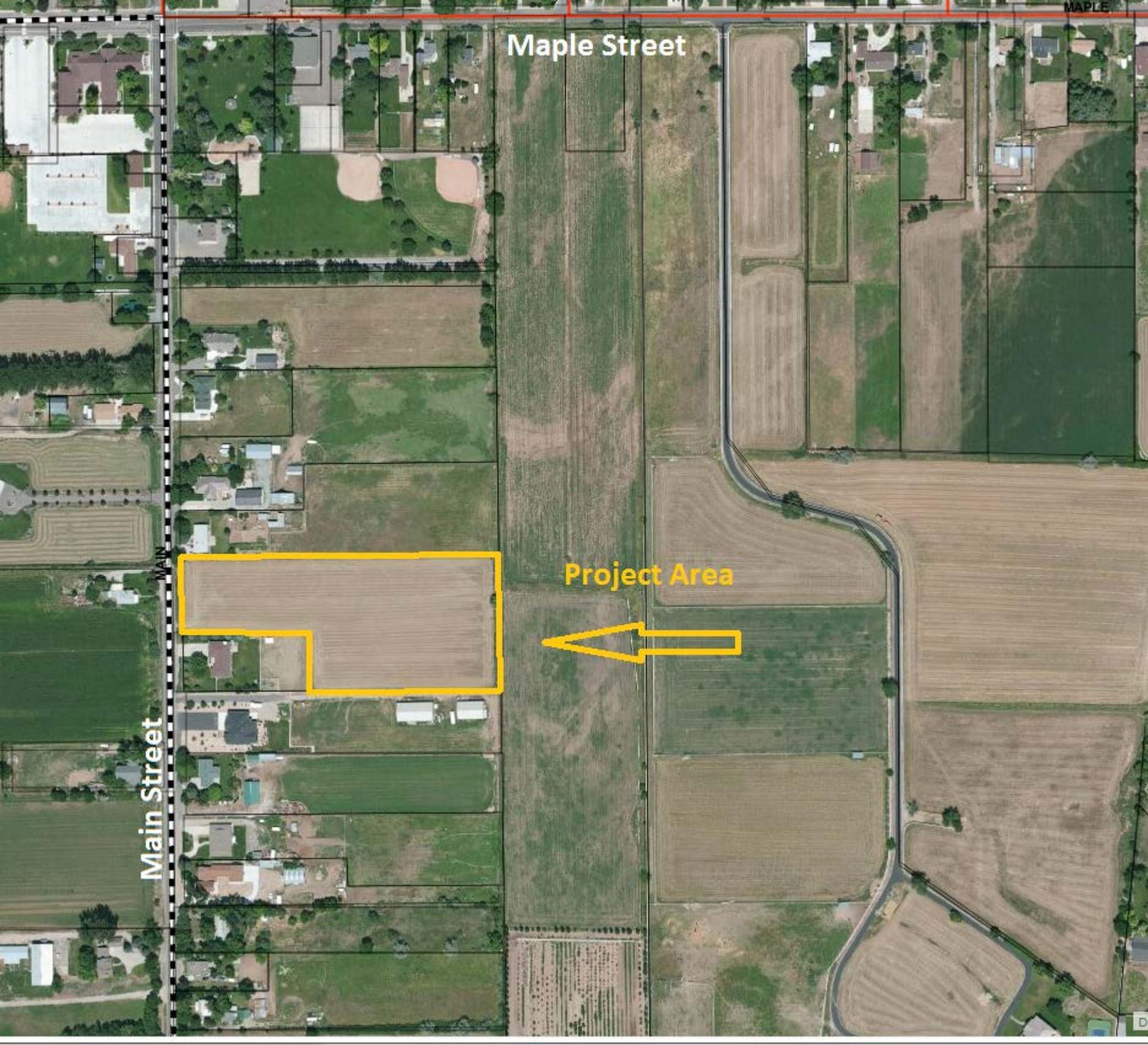
This 6th Day of May, 2014.

Brian Wall
Mayor

ATTEST:

Camille Brown
City Recorder
Publication Date:
Effective Date:

Attachment "1" Findings for Decision		
No.	Findings	
1.	The plans, documents and other submission materials (including technical reports where required) are sufficiently detailed for proper consideration.	✓
2.	The submitted plans, documents and submission materials conform to applicable city standards.	✓
3.	The proposed development conforms to city zoning ordinances and subdivision design standards.	✓
4.	There are not natural or manmade conditions existing on the site or in the vicinity of the site defined in the preliminary plan that, without remediation, would render part or all of the property unsuitable for development.	✓
5.	The project provides for safe and convenient traffic circulation and road access to adjacent properties under all weather conditions.	✓
6.	The project does not impose an undue financial burden on the City.	✓
7.	The location and arrangement of the lots, roads, easements and other elements of the subdivision contemplated by the project are consistent with the city's general street map and other applicable elements of the general plan.	✓
8.	The project plan recognizes and accommodates the existing natural conditions.	✓
9.	The public facilities, including public utility systems serving the area are adequate to serve the proposed development.	✓
10.	The project conforms to the intent of the Subdivision Ordinance as described MCC Chapter 17.01.	✓



Maple Street

Main Street

Project Area



HARVEY SUBDIVISION

A PROPOSED 4 LOT RESIDENTIAL SUBDIVISION MAPLETON, UTAH

SEWER

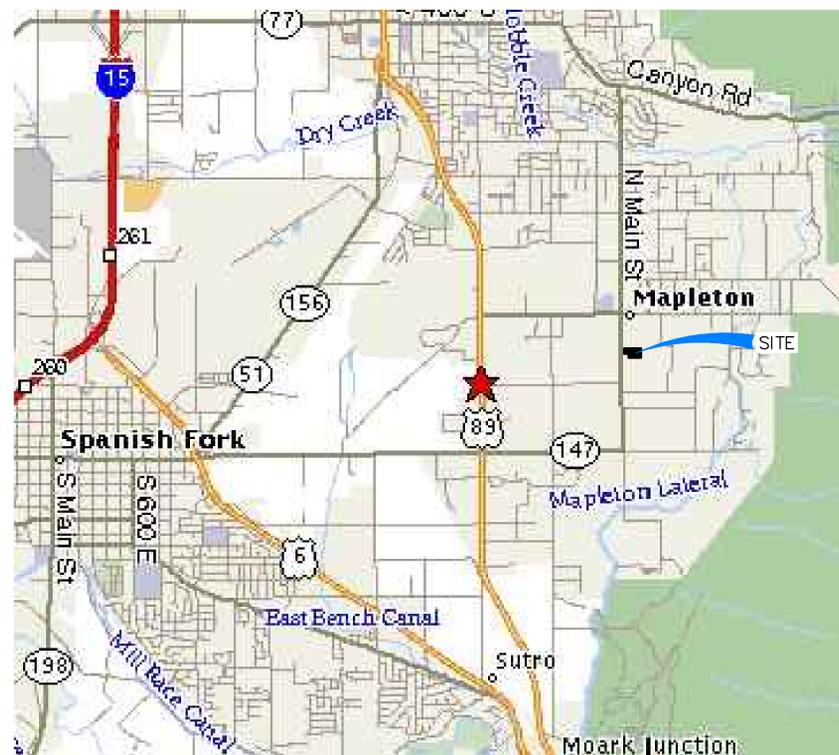
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST MAPLETON CITY DESIGN STANDARDS & CONSTRUCTION SPECIFICATIONS AND STANDARD DRAWINGS. APWA STANDARDS WILL ALSO APPLY.
- FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY MAPLETON CITY.
- MANHOLES SHALL BE CONSTRUCTED AS PER MAPLETON CITY.
- SEWER PIPE WITH COVER OF GREATER THAN 4 FEET, SHALL BE BELL AND SPIGOT, POLYVINYL CHLORIDE (PVC), SDR 35, ASTM D-3034.
- SEWER INSPECTIONS WILL BE BY THE MAPLETON CITY SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER. THE CONTRACTOR WILL NOTIFY MAPLETON CITY 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REIMBURSE THE MAPLETON CITY AT RATES ESTABLISHED BY MAPLETON CITY FOR INSPECTION IN EXCESS OF THE NORMAL WORK WEEK, INCLUDING LEGAL HOLIDAYS, AND OVERTIME INSPECTION RATES.
- STUBOUTS FOR SERVICE LINES SHALL BE MARKED IN ACCORDANCE WITH THE CITY SPECIFICATIONS. THE CONTRACTOR IS TO NOTIFY THE ENGINEER WHEN THIS IS ACCOMPLISHED SO THAT ANY DESTRUCTION OF SAME IS NOT BACK CHARGED TO THE SEWER CONTRACTOR.
- PRIOR TO FINAL ACCEPTANCE, AND AFTER ALL UTILITIES ARE IN, BUT PRIOR TO PAVING, AN AIR AND DEFLECTION TEST SHALL BE CONDUCTED. THE CONTRACTOR SHALL CONTACT MAPLETON CITY A MINIMUM OF 24 HOURS PRIOR TO TESTING.
- ALL MANHOLES SHALL BE CONSTRUCTED SO AS TO BE WATER TIGHT AND WITH THE TOP OF CONE LOCATED WITHIN ONE (1) FOOT OF THE FINISHED GRADE. THE SEWER CONTRACTOR SHALL SUPPLY ALL LID ASSEMBLIES AND THE REQUIRED NUMBER OF RISER AND GRADE RINGS. THE SEWER CONTRACTOR SHALL FIELD VERIFY THE ELEVATION OF THE TOP OF THE MANHOLE CONE TO ASSURE THAT ALL RING ELEVATIONS MATCH FINAL STREET GRADES. MANHOLES SHALL HAVE 12 INCH MAXIMUM GRADE RINGS.
- THE CONTRACTOR SHALL NOTIFY THE DEVELOPER'S ENGINEER AND MAPLETON CITY A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION OF THE SANITARY SEWER. MAPLETON CITY SHALL HAVE THE RIGHT TO INSPECT AND REJECT ALL CONSTRUCTION ASSOCIATED WITH SAID SANITARY SEWER CONSTRUCTION.
- SERVICE STUBOUTS SHALL BE 4" IN DIA. AND WILL BE TO THE POINTS SHOWN ON THE DRAWINGS (S' FROM BLDG.) OR AS MARKED BY THE ENGINEER IN THE FIELD. SERVICE LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH MAPLETON CITY STANDARDS. THOSE SEWER SERVICE STUBOUTS BEGINNING AT A MANHOLE IF ANY WILL HAVE THE TOP OF THE FOUR (4) INCH PIPE MATCH THE TOP OF THE EIGHT INCH PIPE. THE SEWER SERVICE MARKER SHALL BE IN PLACE FOR THE FINAL INSPECTION.
- THE HORIZONTAL SEPARATION OF THE WATER AND SEWER MAINS SHALL BE A MINIMUM OF TEN (10) FEET.
- GROUNDWATER LEVELS SHALL BE MAINTAINED BELOW THE BOTTOM OF THE TRENCH DURING THE PIPE LAYING AND PIPE JOINING OPERATIONS. BEDDING MATERIAL SHALL CONFORM TO MAPLETON CITY REQUIREMENTS.
- THE TRENCH BACKFILL ABOVE THE PIPE ZONE SHALL BE INSPECTED BY MAPLETON CITY. COMPACTION TESTS FOR SAID BACKFILL SHALL BE CONDUCTED AND THE RESULTS SUBMITTED TO MAPLETON CITY ENGINEERING/PUBLIC WORKS FOR FINAL ACCEPTANCE. THE CONTRACTOR IS RESPONSIBLE FOR ALL COMPACTION COSTS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR COMPACTION TESTING IN ACCORDANCE WITH THE UTAH PUBLIC WORKS STANDARDS CONSTRUCTION AND MAPLETON CITY.
- ALL SEWER TRENCHES SHALL BE BACKFILLED IN ACCORDANCE WITH MAPLETON CITY SPECIFICATIONS. THE SEWER PIPE BEDDING SHALL BE IN ACCORDANCE WITH MAPLETON CITY SPECIFICATIONS.
- THE CONTRACTOR SHALL LEAVE THE EXCAVATION FOR THE UPSTREAM END OF ALL SERVICE LINES OPEN FOR FIELD VERIFICATION OF THE INVERT ELEVATION BY THE INSPECTOR. THE CONTRACTOR SHALL NOT BACKFILL THE ENDS OF SERVICE LINES UNTIL HE HAS OBTAINED APPROVAL FROM THE INSPECTOR.
- THE CONTRACTOR SHALL PROVIDE MAPLETON CITY INSPECTOR WITH 'CUT SHEETS' FOR THE STAKING PROVIDED FOR CONSTRUCTION OF THE SANITARY SEWER. 'CUT SHEETS' SHALL BE PROVIDED TO THE MAPLETON CITY PRIOR TO CONSTRUCTION. ADDITIONALLY, A BENCH MARK MUST BE PROVIDED TO THE MAPLETON CITY, INSPECTION DEPARTMENT, BY THE OWNER, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL CONSTRUCT THE SANITARY SEWER IN ACCORDANCE WITH THE STAMPED PLANS APPROVED BY THE MAPLETON SEWER DISTRICT. THESE PLANS WILL BE PROVIDED TO THE CONTRACTOR BY THE PROJECT INSPECTOR PRIOR TO CONSTRUCTION. WORK SHALL NOT BE DONE WITHOUT THE CURRENT SET OF APPROVED PLANS.

ROADWAY/PARKING/STORM DRAIN

- WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY NORTHERN ENGINEERING INC. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTOR'S CLAIM FOR ADDITIONAL COMPENSATION.
- INSPECTION OF WORK WITHIN THE PUBLIC RIGHT-OF WAY SHALL BE BY MAPLETON CITY.
- ALL TOPS OF VALVE BOXES AND SEWER MANHOLES SHALL BE SET FLUSH WITH THE SLOPE OF THE FINISHED STREET GRADES. THE ROADWAY CONTRACTOR SHALL INSTALL AND ADJUST ALL SPACERS, GRADE RINGS, MANHOLE RINGS AND LIDS. CONCRETE COLLARS SHALL BE INSTALLED IN ACCORDANCE WITH MAPLETON CITY STANDARDS & SPECIFICATIONS. CONTRACTOR SHALL NOTIFY MAPLETON AND THE ENGINEER 24 HOURS PRIOR TO POURING CONCRETE COLLARS.
- ALL COSTS OF TESTING & RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTOR'S ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- ALL STORM DRAINAGE APPURTENANCES SHALL BE INSPECTED AND CERTIFIED BY MAPLETON CITY.
- ALL WATER VALVES WILL BE PLACED SO AS NOT TO CONFLICT WITH ANY CONCRETE CURB, GUTTER, VALLEY GUTTER, AND SIDEWALK IMPROVEMENTS.
- ALL WATER METERS AND FIRE HYDRANTS ARE TO BE LOCATED OUTSIDE OF THE ROADWAYS AREA AND THERE MUST BE AT LEAST A ONE (1) FOOT SEPARATION BETWEEN ANY BACK OF SIDEWALK (OR CURB IF NO SIDEWALK) AND THE LEADING EDGE OF ANY FIRE HYDRANT.
- ALL WORK SHALL BE INSPECTED BY THE CITY OF MAPLETON.
- ALL MATERIAL PLACED AS FILL OR BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH MAPLETON CITY STANDARD & SPECIFICATION.
- OVER EXCAVATION AND ADDITIONAL GRANULAR BACKFILL MAY BE REQUIRED IN HIGH GROUNDWATER AREAS WHICH ARE TO BE DETERMINED BY MAPLETON CITY.

-INDEX OF PLAN SHEETS-

SHEET	DESCRIPTION
CS-01	COVER SHEET & NOTES
PL-01	PRELIMINARY PLAT
PL-02	FINAL PLAT
UP-01	UTILITY PLAN
PP-01	STREET PLAN & PROFILE - 400 SOUTH STREET
PP-02	STREET PLAN & PROFILE - MAIN STREET
DT-01	DETAILS
DT-02	DETAILS
DT-03	DETAILS
SP-01	EROSION CONTROL PLAN
SP-02	EROSION CONTROL PLAN DETAILS



VICINITY MAP
-NTS-

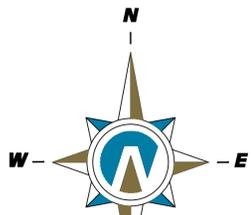
GENERAL

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS ORDINANCES & REQUIREMENTS OF MAPLETON CITY STANDARDS AND CURRENT APWA STANDARDS & GUIDELINES.
- A PRECONSTRUCTION CONFERENCE WITH CITY ENGINEER, CITY PUBLIC WORKS, AND CONTRACTOR WILL BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
- ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
- EXISTING A.C. PAVEMENT SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET OR DRIVEWAY CENTERLINE OR AS SHOWN ON PLANS AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING PER MAPLETON CITY SPECIFICATIONS.
- ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS OF THE SPECIFICATIONS AT THE REQUEST OF THE AGENCY AND/OR THE ENGINEER.
- THE LOCATIONS OF EXISTING UNDERGROUND OR OVERHEAD UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION & ELEVATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND OR OVERHEAD UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL BLUE STAKES PRIOR TO ANY CONSTRUCTIONS.
- ALL CONTRACTORS WORKING WITHIN THE PUBLIC ROAD RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY PERMIT FROM MAPLETON CITY AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION.
- ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTOR'S ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- THE CONTRACTOR(S) SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE, AND BELOW GROUND, AS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THIS SHALL INCLUDE CLEARING AND GRUBBING WHICH CONSIST OF CLEARING THE GROUND SURFACE OF ALL TREES, STUMPS, BRUSH, UNDERGROWTH, HEDGES, HEAVY GROWTH OF GRASS OR WEEDS, FENCES, STRUCTURES, DEBRIS, RUBBISH, AND SUCH MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS UNSUITABLE FOR THE FOUNDATION OF PAVEMENTS. ALL MATERIAL NOT SUITABLE FOR FUTURE USE ON SITE SHALL BE DISPOSED OF OFF SITE.
- ALL ROADWAYS, CULINARY WATER, STORM DRAIN IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MAPLETON CITY STANDARDS.
- UTILITY CONDUITS TO BE INSTALLED AT EVERY INTERSECTION PER MAPLETON CITY STANDARDS. *T* INTERSECTIONS TO HAVE CONDUITS ON TWO SIDES (MIN) 4 WAY INTERSECTIONS TO HAVE CONDUITS ON 3 SIDES (MIN).
- WHEN DISCREPANCIES OCCUR BETWEEN PLANS SPECIFICATIONS, RECOMMENDATION, AND REPORTS, THE CONTRACTOR SHALL INSTALL THAT WHICH IS RECOMMENDED BY THE CITY ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE MAPLETON IRRIGATION COMPANY AT LEAST 24-HOURS BEFORE CONSTRUCTION ON MAPLETON IRRIGATION COMPANY FACILITIES. CALL TODD ADAMS WITH FRANSON CIVIL ENGINEERS AT 801-756-0309. FAILURE TO DO SO WILL RESULT IN A \$5000.00 FINE.

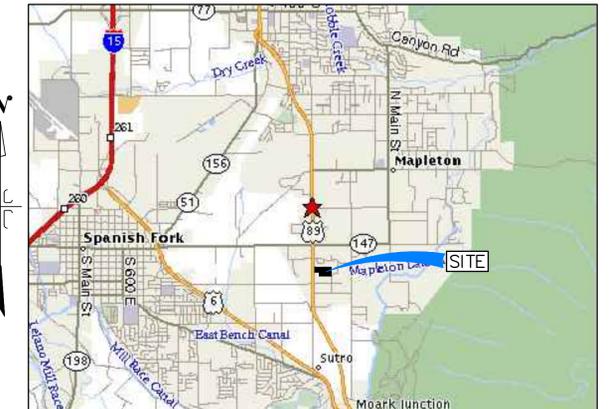
WATER

- THE WATER SYSTEM SHALL BE CONSTRUCTED TO CONFORM WITH THE STANDARDS SET FORTH IN THE "STATE OF UTAH RULES FOR PUBLIC DRINKING WATER SYSTEMS".
- WATER DISTRIBUTION MAINS SHALL BE CONSTRUCTED WITH DIP CLASS 52. THE PIPE SHALL BE INSTALLED IN WORKMANLIKE MANNER BY PERSONS PROPERLY QUALIFIED TO PERFORM SAID WORK AND SHALL BE IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AS APPROVED BY THE CITY ENGINEER. ALL WORK AND MATERIALS MUST CONFORM TO CURRENT REQUIREMENTS OF THE UTAH PUBLIC WORKS GENERAL CONDITIONS AND STANDARDS SPECIFICATIONS FOR CONSTRUCTION AND/OR MAPLETON CITY.
- ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 4 FEET. AFTER INSTALLATION OF THE WATER MAINS, THE TRENCHES SHALL BE COMPACTED TO 95% MODIFIED PROCTOR OF MAXIMUM DENSITY TO PREVENT FUTURE SETTLEMENT. ALL MAINS SHALL BE LEAK-TESTED, FLUSHED AND SANITIZED BEFORE CONNECTION TO THE MUNICIPAL SYSTEM.
- HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH MAPLETON CITY STANDARDS AND THOSE SET FORTH IN THE STATE CODES.
- ALL GATE VALVES SHALL BE FLANGED AND/OR M.J. AND SHALL CONFORM TO APWA 2002 SPECIFICATIONS AND SHALL HAVE A 200 P.S.I. WORKING PRESSURE RATING. ALL VALVES SHALL BE ANCHORED IN CONFORMANCE WITH MAPLETON CITY SPECIFICATIONS.
- ALL TEES, PLUGS, CAPS AND BENDS, AND AT OTHER LOCATIONS WHERE UNBALANCED FORCES EXIST, SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING AS SHOWN IN THE MAPLETON CITY SPECIFICATIONS.
- THE DISTRIBUTION SYSTEM SHALL BE PRESSURE TESTED IN ACCORDANCE WITH A.W.W.A. STANDARDS.
- CONTRACTOR SHALL NOTIFY THE ENGINEER, THREE (3) WORKING DAYS BEFORE INITIAL CONSTRUCTION BEGINS AND SHALL ALSO REQUEST MAPLETON CITY DEPARTMENT OF PUBLIC WORKS INSPECTION OF WATER LINES AND APPURTENANCES TWENTY-FOUR (24) HOURS IN ADVANCE OF BACKFILLING.
- CONTRACTOR TO FIELD VERIFY ALL VALVE BOX LID ELEVATIONS TO ASSURE THAT SAID LID ELEVATIONS MATCH FINAL STREET GRADE, AND ALL METER LID ELEVATIONS TO MATCH AN EXTENSION OF THE SIDEWALK GRADE.
- UPON THE COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT A SET OF AS-BUILT PLANS TO THE CITY ENGINEER. 1. RESIDENTIAL WATER SERVICE CONNECTIONS SHALL BE CONSISTANT WITH MAPLETON CITY STANDARDS DRAWING W-01.
- THE SECONDARY WATERLINE SHALL BE CONSTRUCTED TO CONFORM WITH THE STANDARDS SET FORTH IN MAPLETON SPECIFICATION SECTION 02680. ALL SECONDARY PIPE SHALL BE PURPLE PIPE. CONTRACTOR TO INSTALL 2" SECONDARY DRAIN CONNECT TO PROPOSED STORM DRAIN.
- ALL WATER VALVES SHOULD BE INDICATED AS 'IRRIGATION' OR 'CULINARY'

 Northern ENGINEERING INC ENGINEERING-LAND PLANNING CONSTRUCTION MANAGEMENT	1040 E. 800 N. OREM, UTAH 84097 (801) 802-8992	JOB NO. 3-13-086
		SHEET NO. CS-01



(24"x36")
SCALE 1" = 40'
(11"x17")
SCALE 1" = 80'



VICINITY MAP
-NTS-

DUANE L MADSEN
26:071:0094

PROPERTY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTH WEST CORNER OF SECTION 14, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN.

COMMENCING FROM THE WEST QUARTER CORNER OF SAID SECTION 14; THENCE N0°28'23"W ALONG THE SECTION LINE A DISTANCE OF 1164.93 FEET; THENCE EAST 33.00 FEET TO THE POINT OF BEGINNING.

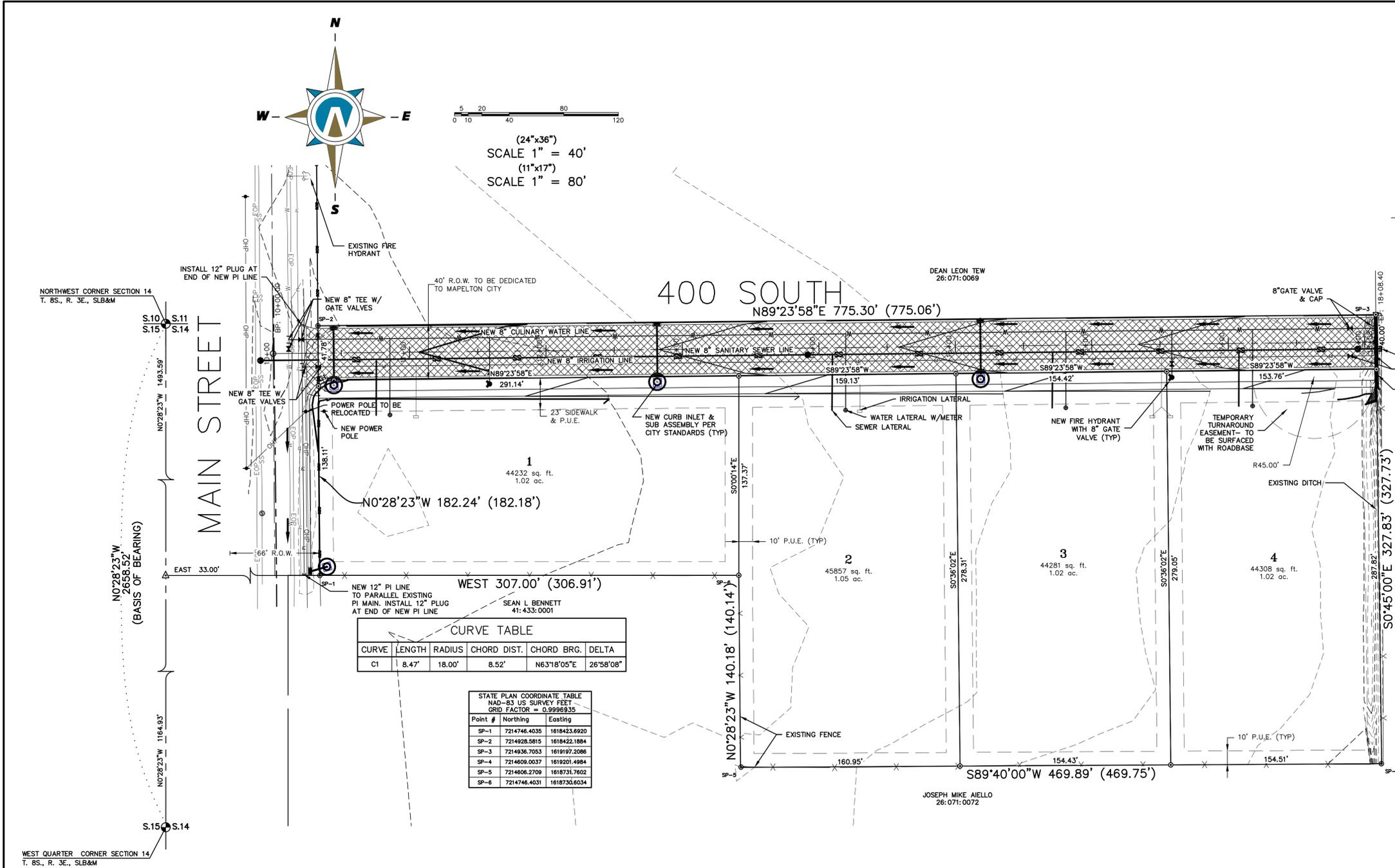
THENCE N0°28'23"W A DISTANCE OF 182.24 FEET; THENCE N89°23'58"E A DISTANCE OF 775.30 FEET; THENCE S0°45'00"E A DISTANCE OF 327.83 FEET; THENCE S89°40'00"W A DISTANCE OF 469.89 FEET; THENCE N0°28'23"W DISTANCE OF 140.18 FEET; THENCE WEST A DISTANCE OF 307.00 FEET BACK TO THE POINT OF BEGINNING.

PARCEL CONTAINS 4.81 ACRES MORE OR LESS

LEGEND

- ⊙ FOUND 5/8" IRON PIN
- ⊕ EXISTING POWER POLE
- ⊛ EXISTING STREET LIGHT
- ⊙ EXISTING FIRE HYDRANT
- — — — — PROPERTY BOUNDARY
- — — — — CENTERLINE
- — — — — RIGHT-OF-WAY LINE
- — — — — SECTION LINE
- — — — — EASEMENT
- — — — — EXISTING DEED LINE
- — — — — EDGE OF PAVEMENT
- — — — — EXISTING OVER HEAD POWER
- X — — — EXISTING FENCE LINE
- — — — — EXISTING DITCH
- SS — — — EXISTING SANITARY SEWER W/MANHOLE

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.



CURVE TABLE

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	8.47'	18.00'	8.52'	N63°18'05"E	26°58'08"

STATE PLAN COORDINATE TABLE
NAD-83 US SURVEY FEET
GRID FACTOR = 0.9999635

Point #	Northing	Easting
SP-1	7214746.4035	1618423.6920
SP-2	7214928.5815	1618422.1884
SP-3	7214938.7053	1619197.2086
SP-4	7214609.0037	1619201.4984
SP-5	7214608.2709	1618731.7602
SP-6	7214746.4031	1618730.6034

NO.	REVISIONS	BY	DATE	REV. COGO FILE:	DATE:
5					
4					
3					
2					
1					

DESIGNED BY: DATE:
 DRAWN BY: ST DATE: JANUARY, 2014
 CHECKED BY: DATE:
 APPROVED: DATE:
 COGO FILE: DATE:
 REV. COGO FILE: DATE:

Northern ENGINEERING INC
 ENGINEERING—LAND PLANNING
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.
 OREM, UTAH 84097
 (801) 802-8992

**HARVEY SUBDIVISION
 PLAT B**

PRELIMINARY PLAT	JOB NO. 3-13-086
MAPLETON, UTAH	SHEET NO. PL-1

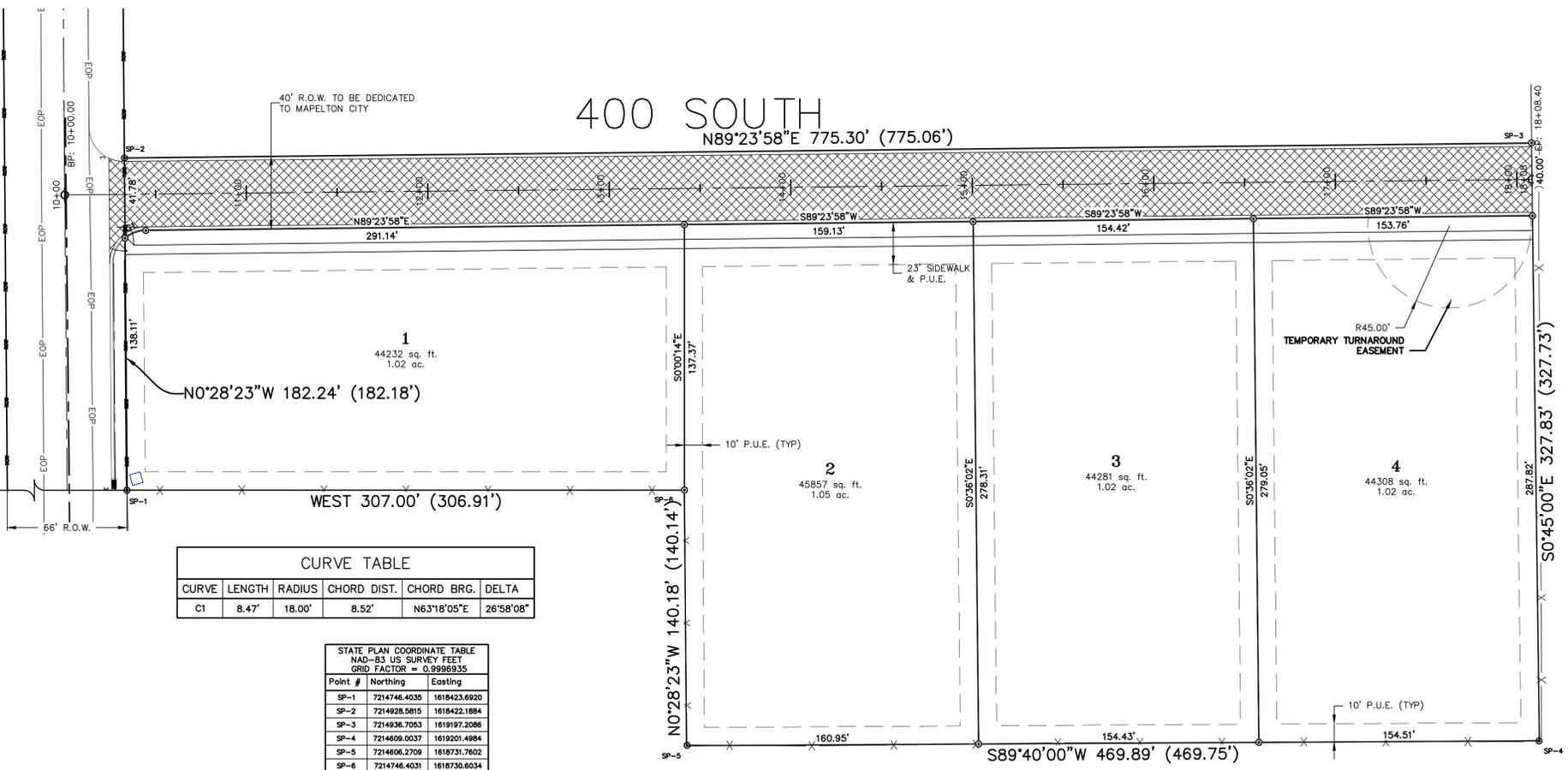
K:\3-13-086 Mapleton Scotty Hills\CAD\Preliminary\Preliminary Plat.dwg 4/2/2014 9:30 AM



(24"x36")
SCALE 1" = 40'
(11"x17")
SCALE 1" = 80'

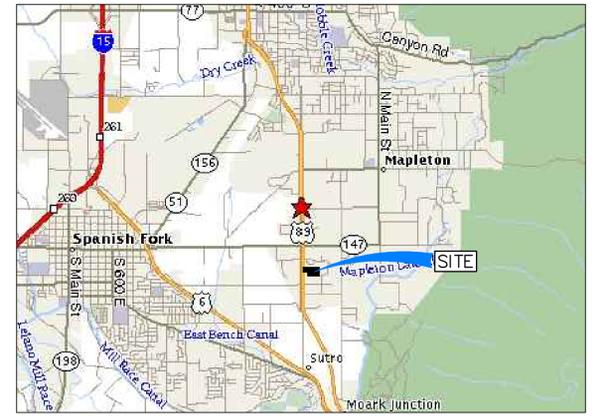
NORTHWEST CORNER SECTION 14
T. 8S., R. 3E., SLB&M

WEST QUARTER CORNER SECTION 14
T. 8S., R. 3E., SLB&M



CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	8.47'	18.00'	8.52'	N63°18'05\"/>	

Point #	Northing	Easting
SP-1	7214746.4035	1618423.6920
SP-2	7214928.5815	1618422.1884
SP-3	7214936.7053	1619197.2086
SP-4	7214609.0037	1619201.4984
SP-5	7214606.2709	1618731.7602
SP-6	7214746.4031	1618730.6034



ZONED: RA-1 RESIDENTIAL AGRICULTURAL
TOTAL PROJECT AREA = 4.81 ACRES
LOT AREA = 4.11 ACRES
NUMBER OF LOTS = 4 LOTS

- LEGEND**
- ⊙ FOUND 5/8" IRON PIN
 - ⊙ SET 5/8" IRON PIN
 - △ CALCULATED POINT, NOT SET
 - PROPERTY BOUNDARY
 - - - CENTERLINE
 - ROW --- RIGHT-OF-WAY LINE
 - LOT LINE
 - - - EASEMENT
 - - - EXISTING FENCE LINE

QUESTAR GAS COMPANY

Questar hereby approves this plat solely for the purposes of approximating the location, boundaries, course and dimensions of the rights-of-way and easement grants and existing underground facilities. Nothing herein shall be construed to warrant or verify the precise location of such items. The rights-of-way and easements are subject to numerous restrictions appearing on the recorded Right-of-Way and Easement Grant(s). Questar may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities including prescriptive rights and other rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the Owners Dedication or the Notes, and does not constitute a guarantee of particular terms or conditions of service.

Approved this _____ day of _____, 20____
By: _____
Title: _____

- ROCKY MOUNTAIN POWER
APPROVED THIS _____ DAY OF _____ A.D. 20____, BY ROCKY MOUNTAIN POWER
- CENTURY LINK COMMUNICATION
APPROVED THIS _____ DAY OF _____ A.D. 20____, BY CENTURY LINK COMMUNICATION
- COMCAST
APPROVED THIS _____ DAY OF _____ A.D. 20____, BY COMCAST



SURVEYOR'S CERTIFICATE

I, KIM WAYNE LUNDEBERG, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED, CERTIFICATE NO. 354377. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE _____ KIM WAYNE LUNDEBERG, P.L.S.

BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NORTH WEST CORNER OF SECTION 14, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN.
COMMENCING FROM THE WEST QUARTER CORNER OF SAID SECTION 14; THENCE N0°28'23"W ALONG THE SECTION LINE A DISTANCE OF 1164.93 FEET; THENCE EAST 33.00 FEET TO THE POINT OF BEGINNING.
THENCE N0°28'23"W A DISTANCE OF 182.24 FEET; THENCE N89°23'58"E A DISTANCE OF 775.30 FEET; THENCE S0°45'00"E A DISTANCE OF 327.83 FEET; THENCE S89°40'00"W A DISTANCE OF 469.89 FEET; THENCE N0°28'23"W A DISTANCE OF 140.18 FEET; THENCE WEST A DISTANCE OF 307.00 FEET BACK TO THE POINT OF BEGINNING.
PARCEL CONTAINS 4.81 ACRES MORE OR LESS

OWNER'S DEDICATION

KNOWN ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS, AND EASEMENTS, AND DOES HEREBY OFFER AND CONVEY TO ALL PUBLIC UTILITY AGENCIES AND THEIR SUCCESSORS AND ASSIGNS A PERMANENT EASEMENT SHOWN AS PUBLIC UTILITY EASEMENTS ON AND WITHIN THIS PLAT FOR CONSTRUCTION AND MAINTENANCE OF SUBTERRANEAN ELECTRICAL, TELEPHONE, NATURAL GAS, SEWER, STORM DRAINAGE, LAND DRAIN, AND WATER LINES APPURTENANCES TOGETHER WITH THE RIGHT-OF-WAY ACCESS THERETO.

IN WITNESS WHEREOF WE HAVE HERE UNTO SET OUR HANDS THIS DAY OF _____, A.D. 20____.

BY: OWNER
STATE OF UTAH } s.s.
COUNTY OF UTAH }
ON THE _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

ACKNOWLEDGMENT

MY COMMISSION EXPIRES _____ NOTARY PUBLIC (SEE SEAL)
A NOTARY PUBLIC COMMISSIONED IN UTAH
NOTARY NAME IN PRINT _____ COMMISSION NUMBER _____

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF MAPLETON, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____.

APPROVED _____ ATTEST _____
CITY ENGINEER (SEE SEAL) CITY RECORDER (SEE SEAL)

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____ A.D. 20____, BY THE MAPLETON CITY PLANNING COMMISSION.

MAPLETON IRRIGATION APPROVAL
APPROVED THIS _____ DAY OF _____ A.D. 20____, BY THE MAPLETON IRRIGATION COMPANY.

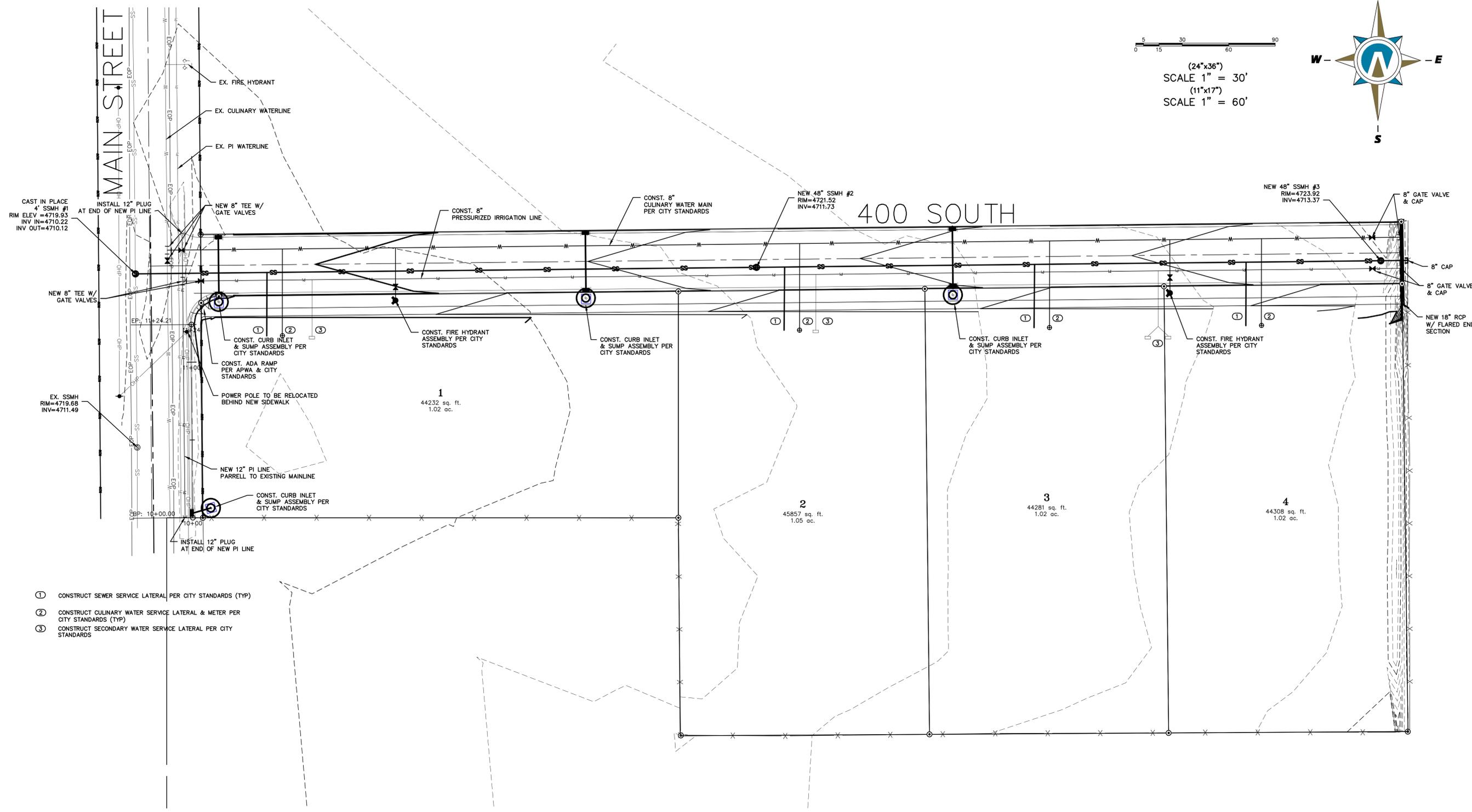
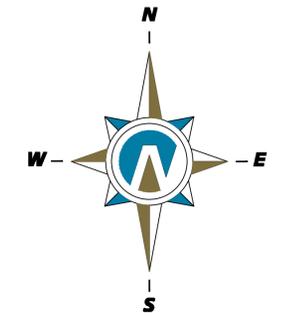
WATER MASTER - _____

**HARVEY SUBDIVISION
PLAT "B"**

LOCATED IN THE NORTH HALF OF SECTION 11 T8S. R3E. S.L.B.&M., UTAH COUNTY, UTAH

MAPLETON UTAH COUNTY, UTAH			
SCALE: 1" = 40 FEET			
SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDER SEAL

(24"x36")
 SCALE 1" = 30'
 (11"x17")
 SCALE 1" = 60'



- ① CONSTRUCT SEWER SERVICE LATERAL PER CITY STANDARDS (TYP)
- ② CONSTRUCT CULINARY WATER SERVICE LATERAL & METER PER CITY STANDARDS (TYP)
- ③ CONSTRUCT SECONDARY WATER SERVICE LATERAL PER CITY STANDARDS

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

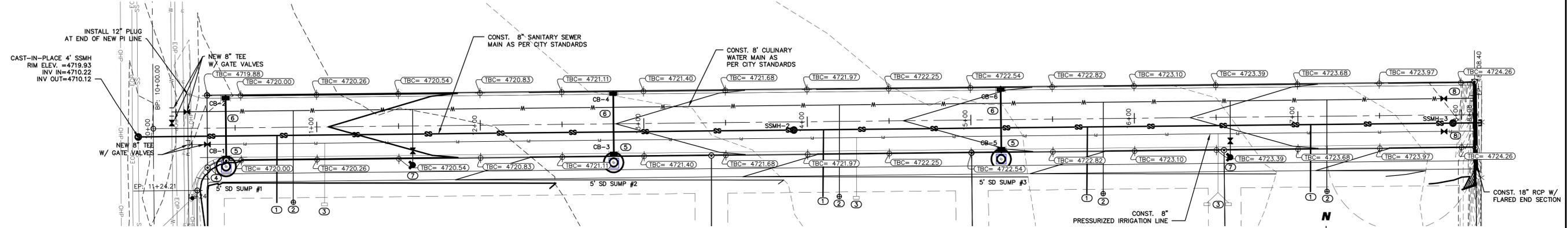
5		DESIGNED BY:	DATE:
4		DRAWN BY: ST	DATE: JANUARY, 2014
3		CHECKED BY:	DATE:
2		APPROVED:	DATE:
1		COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE
K:\3-13-086 Mapleton Scotty Hills\CAD\Design\UTILITY.dwg 4/2/2014 9:41 AM			


Northern ENGINEERING INC
 ENGINEERING—LAND PLANNING
 CONSTRUCTION MANAGEMENT
 1040 E. 800 N.
 OREM, UTAH 84097
 (801) 802-8992

HARVEY SUBDIVISION
 MAPLETON, UTAH

PRELIMINARY UTILITY PLAN	JOB NO. 3-13-086
MAPLETON, UTAH	SHEET NO. UP-1

400 SOUTH PLAN AND PROFILE



NOTES TO CONTRACTOR:

- 1) CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
- 2) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

- ① CONSTRUCT SEWER SERVICE LATERAL PER CITY STANDARDS (TYP)
- ② CONSTRUCT CULINARY WATER SERVICE LATERAL & METER PER CITY STANDARDS (TYP)
- ③ CONSTRUCT SECONDARY WATER SERVICE LATERAL PER CITY STANDARDS
- ④ CONSTRUCT ADA RAMP PER APWA & CITY STANDARDS
- ⑤ CONSTRUCT CURB INLET AND SUMP ASSEMBLY PER CITY STANDARDS
- ⑥ CONSTRUCT 18" RCP STORMDRAIN LINE
- ⑦ CONSTRUCT FIRE HYDRANT ASSEMBLY AS PER CITY STANDARDS
- ⑧ 8" VALVE AND CAP

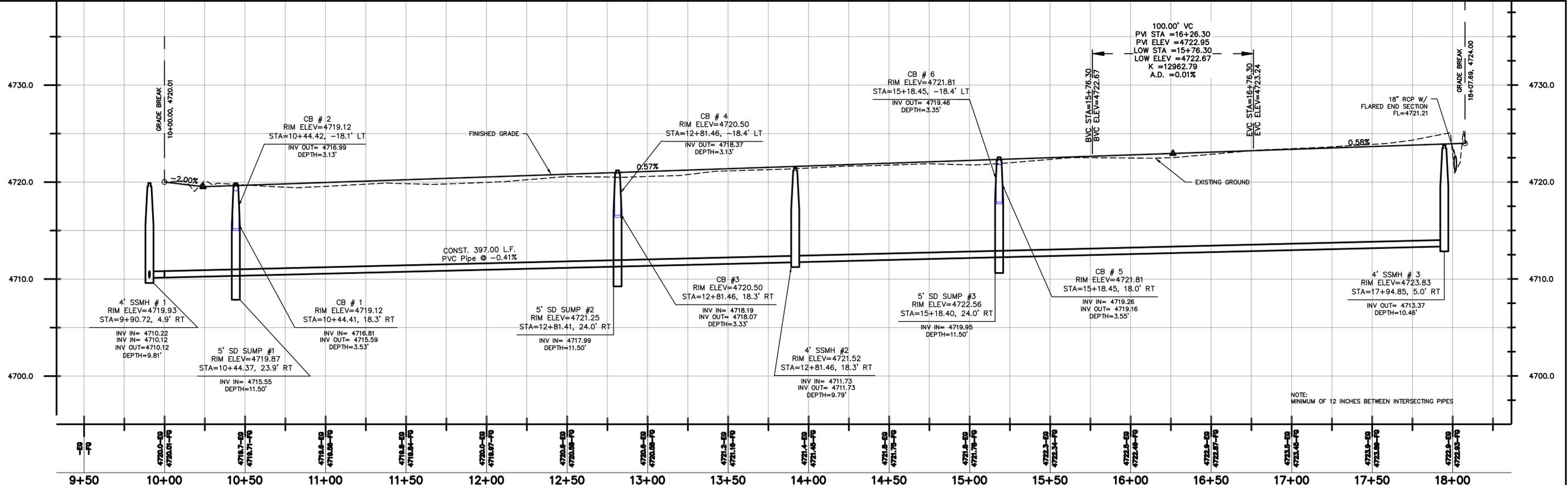
NOTE:
CLEARING AND GRUBBING OF SITE REQUIRED

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.



(24"x36")
HORIZONTAL 1" = 30'
VERTICAL 1" = 5'

(11"x17")
HORIZONTAL 1" = 60'
VERTICAL 1" = 10'



NOTE:
MINIMUM OF 12 INCHES BETWEEN INTERSECTING PIPES

5	DESIGNED BY:	DATE:
4	DRAWN BY:	DATE:
3	CHECKED BY:	DATE:
2	APPROVED:	DATE:
1	COGO FILE:	DATE:
NO.	REVISIONS	BY DATE REV. COGO FILE:

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ENGINEERING-LAND PLANNING
CONSTRUCTION MANAGEMENT

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HARVEY SUBDIVISION

400 SOUTH PLAN & PROFILE

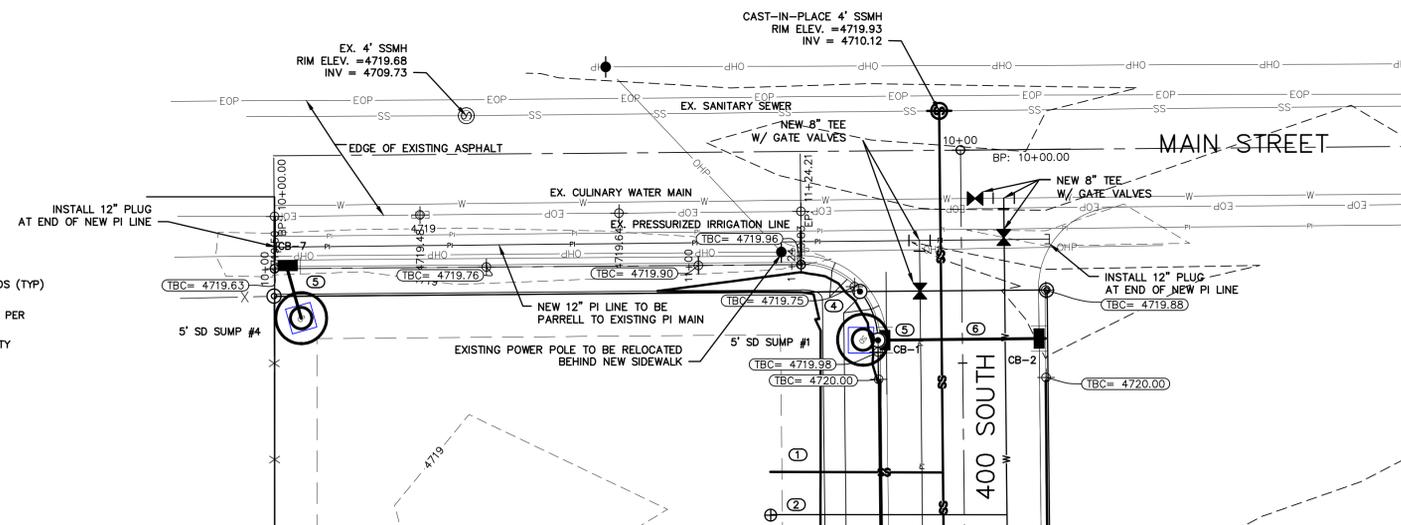
MAPLETON, CITY

JOB NO.
3-13-086

SHEET NO.
PP-1

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MAIN STREET PLAN AND PROFILE



- ① CONSTRUCT SEWER SERVICE LATERAL PER CITY STANDARDS (TYP)
- ② CONSTRUCT CULINARY WATER SERVICE LATERAL & METER PER CITY STANDARDS (TYP)
- ③ CONSTRUCT SECONDARY WATER SERVICE LATERAL PER CITY STANDARDS
- ④ CONSTRUCT ADA RAMP PER APWA & CITY STANDARDS
- ⑤ CONSTRUCT CURB INLET AND SUMP ASSEMBLY PER CITY STANDARDS
- ⑥ CONSTRUCT 18" RCP STORMDRAIN LINE
- ⑦ CONSTRUCT FIRE HYDRANT ASSEMBLY AS PER CITY STANDARDS
- ⑧ 8" VALVE AND CAP

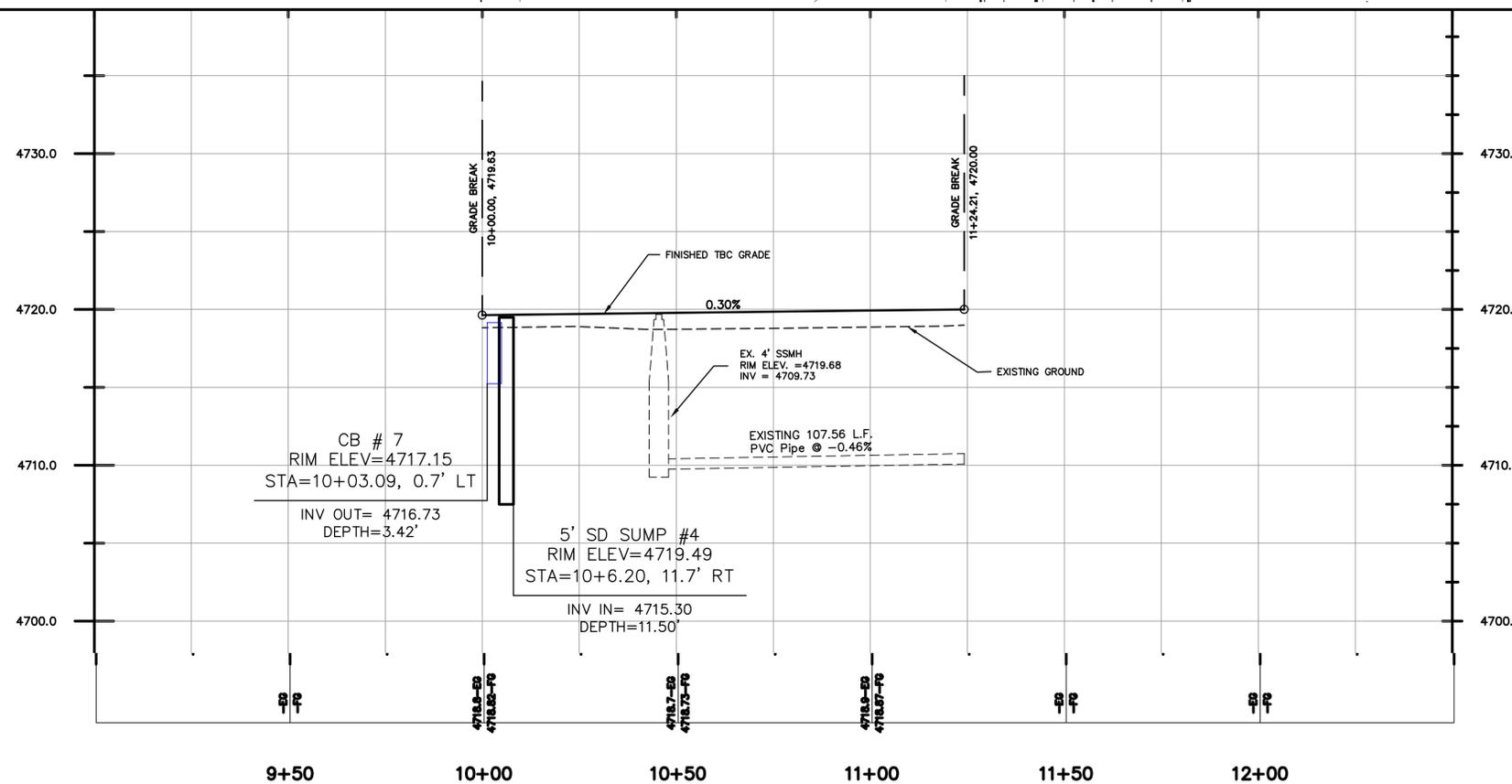
NOTES TO CONTRACTOR:

- 1) CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
- 2) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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(24"x36")
HORIZONTAL 1" = 20'
VERTICAL 1" = 5'

(11"x17")
HORIZONTAL 1" = 40'
VERTICAL 1" = 10'



NOTE:
MINIMUM OF 12 INCHES BETWEEN INTERSECTING PIPES

5	DESIGNED BY:	DATE:
4	DRAWN BY:	DATE:
3	CHECKED BY:	DATE:
2	APPROVED:	DATE:
1	COGO FILE:	DATE:
NO.	REVISIONS	BY DATE REV. COGO FILE:



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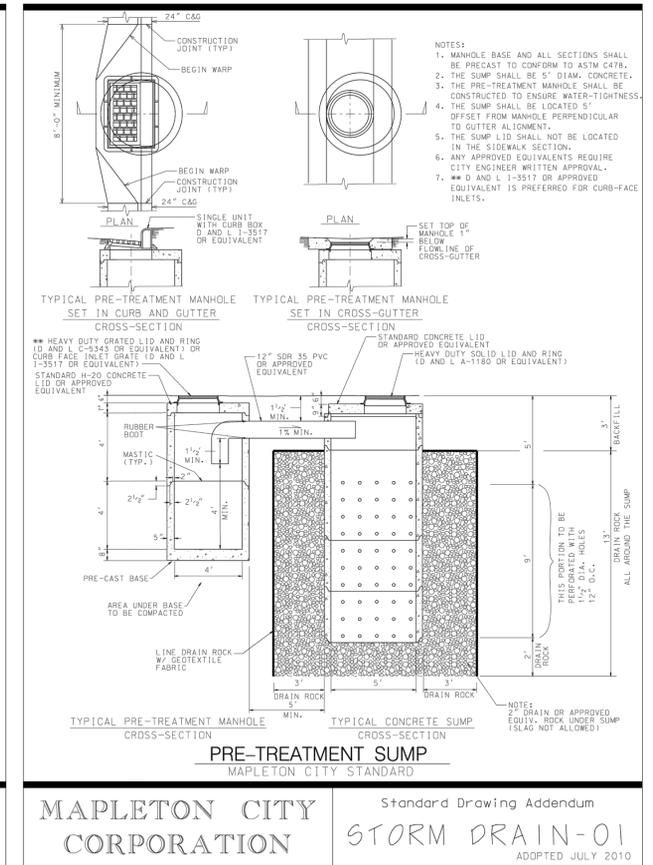
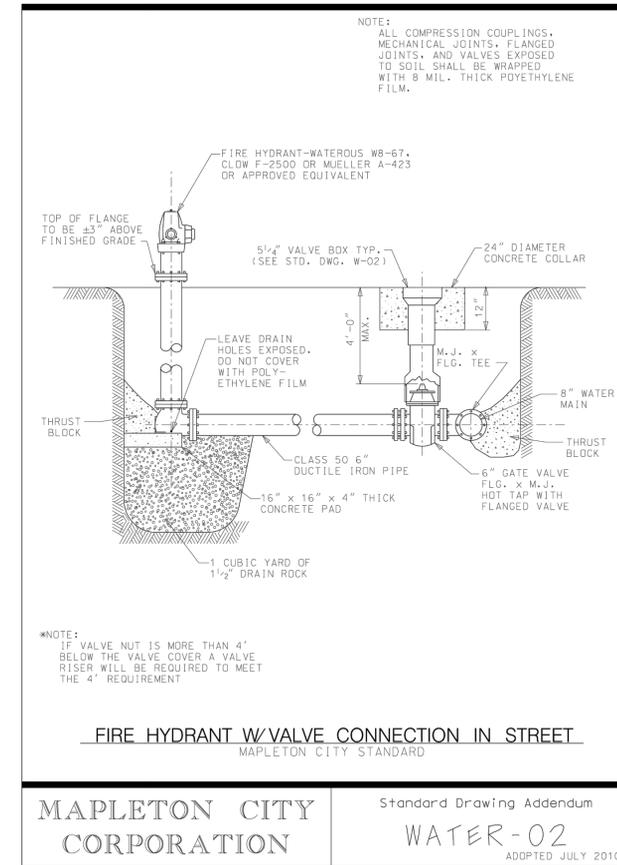
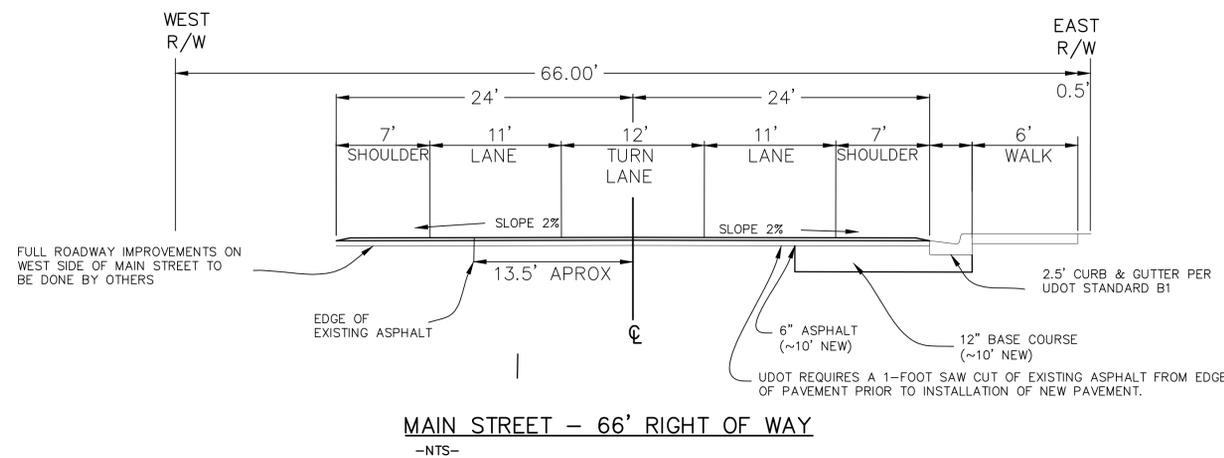
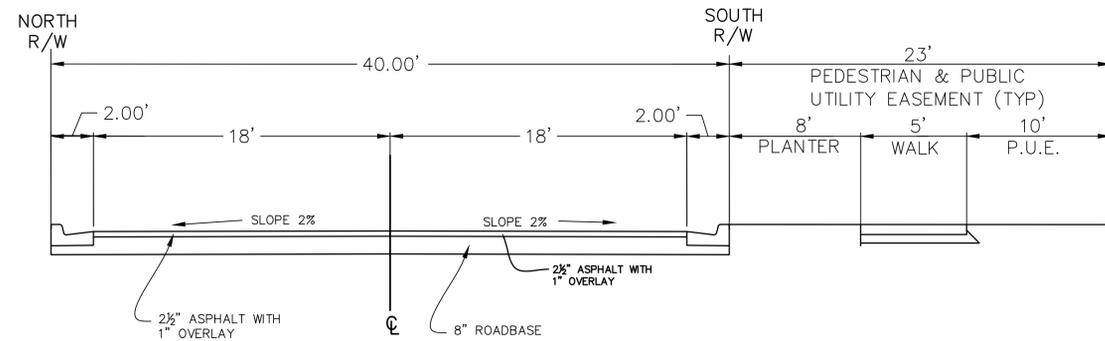
HARVEY SUBDIVISION

MAIN STREET PLAN & PROFILE

MAPLETON, CITY

JOB NO.
3-13-086

SHEET NO.
PP-2



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Northern ENGINEERING INC
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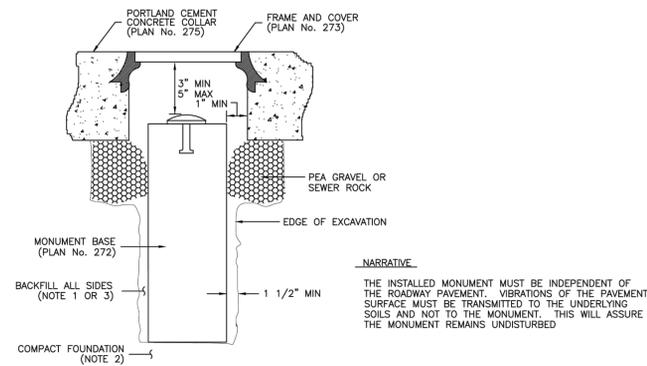
1040 E. 800 N.
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HARVEY SUBDIVISION

DETAIL
MAPLETON, UTAH

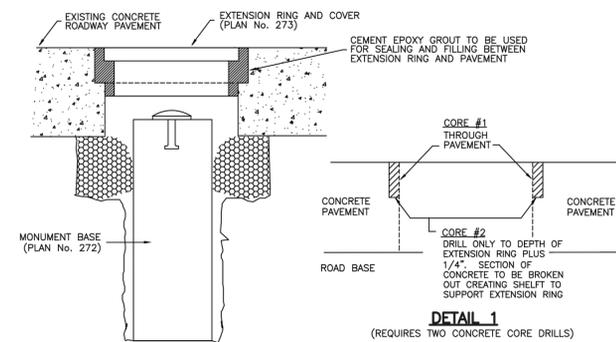
JOB NO.
3-13-086
SHEET NO.
DT-01

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NARRATIVE
THE INSTALLED MONUMENT MUST BE INDEPENDENT OF THE ROADWAY PAVEMENT. VIBRATIONS OF THE PAVEMENT SURFACE MUST BE TRANSMITTED TO THE UNDERLYING SOILS AND NOT TO THE MONUMENT. THIS WILL ASSURE THE MONUMENT REMAINS UNDISTURBED

A ASPHALT CONCRETE PAVEMENTS



DETAIL 1
(REQUIRES TWO CONCRETE CORE DRILLS)

B CEMENT CONCRETE PAVEMENTS

Survey monument placement under pavements

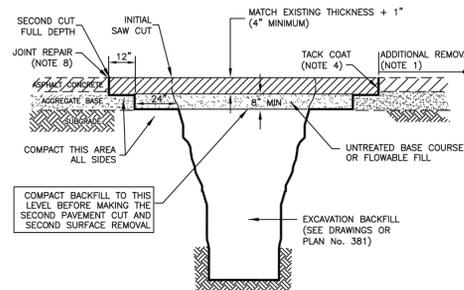
Plan No. **274**

December 2001

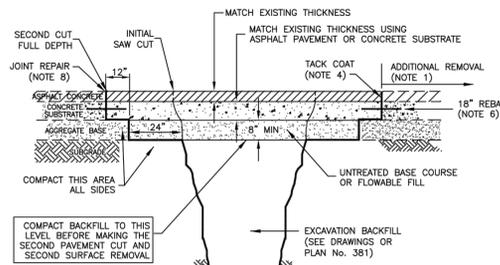
103

DEEP EXCAVATION

(MORE THAN 48 INCHES FROM PAVEMENT SURFACE TO BOTTOM OF EXCAVATION)



EXAMPLE A
(ASPHALT RESTORATION)



EXAMPLE B
(COMPOSITE RESTORATION)

Asphalt concrete "T" patch

Plan No. **255**

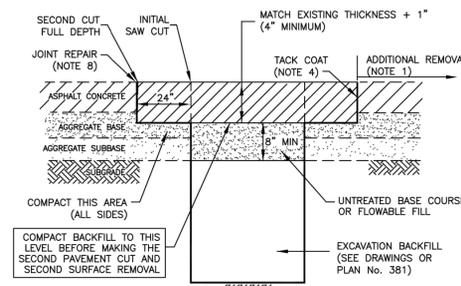
March 2006

85

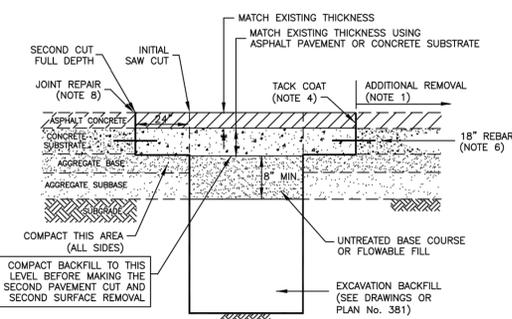
Drawing 2 of 2

SHALLOW EXCAVATION

(LESS THAN 48 INCHES FROM PAVEMENT SURFACE TO BOTTOM OF EXCAVATION)



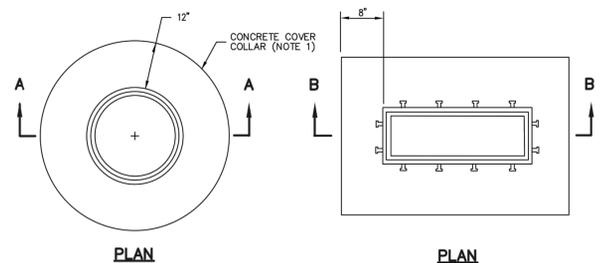
EXAMPLE 1
(ASPHALT RESTORATION)



EXAMPLE 2
(COMPOSITE RESTORATION)

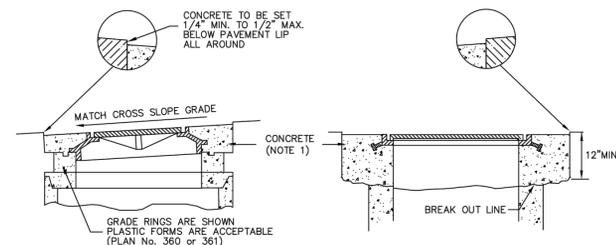
Asphalt concrete "T" patch

Plan No. **255**



PLAN

PLAN

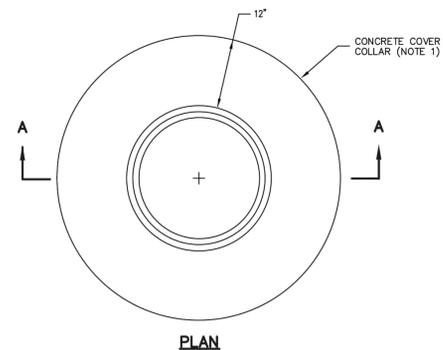


SECTION A-A

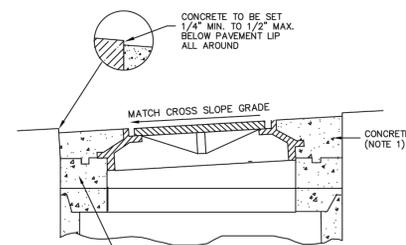
SECTION B-B

COVER COLLAR FOR STORM DRAINS

Plan No. **362**



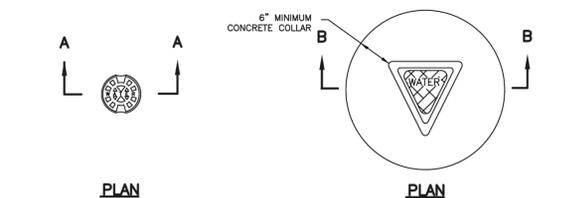
PLAN



SECTION A-A

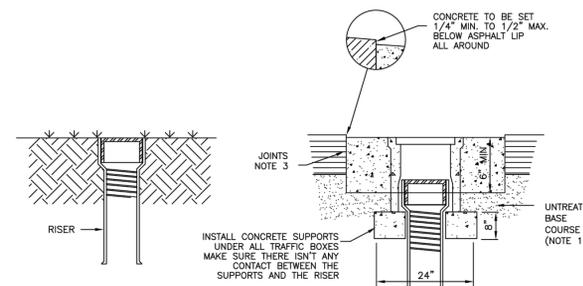
COVER COLLAR FOR SANITARY SEWER MANHOLE

Plan No. **413**



PLAN

PLAN



SECTION A-A

SECTION B-B

COVER COLLAR FOR WATER VALVE BOXES

Plan No. **574**

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NO.	REVISIONS	BY	DATE	REV. COGO FILE:	DATE:
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CONSTRUCTION MANAGEMENT

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(801) 802-8992

HARVEY SUBDIVISION

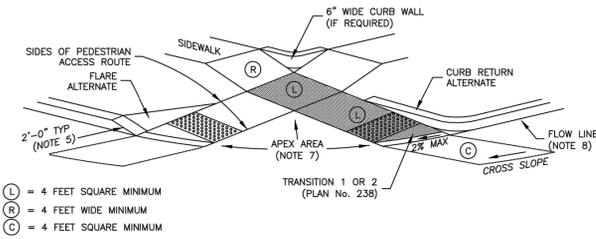
DETAIL
MAPLETON, UTAH

JOB NO.
3-13-086

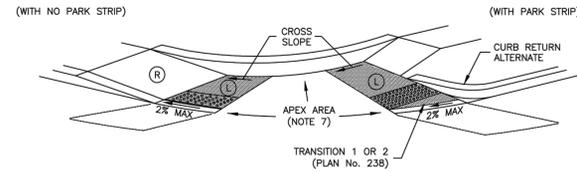
SHEET NO.
DT-02

LANDING AT STREET LEVEL

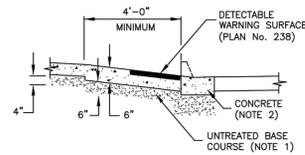
- NARRATIVE:
- SITE CONDITIONS WILL VARY. CONFIGURATION OF RAMP, LANDING, AND TRANSITION MAY BE CHANGED, BUT THEY MUST MEET DIMENSIONS AND SLOPES SHOWN HERE.
 - IF THE SIDES OF A PEDESTRIAN ACCESS ROUTE OR THE EXTENSION OF A LATERAL LINE OF THE SIDEWALK INTERSECTS A FLOW-LINE RADIUS, THEN A CORNER CURB CUT ASSEMBLY MUST BE CONSTRUCTED.
 - GRADE BREAKS AT ENDS OF RAMP MUST BE PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL.
 - USE OF FLARES, CURB RETURNS, CURB WALLS, ETC., ARE AT ENGINEER'S DISCRETION.
 - LENGTH OF ANY RAMP NOT REQUIRED TO EXCEED 15 FEET.



EXAMPLE E



EXAMPLE F



MATERIALS

	RUNNING SLOPE	CROSS SLOPE
LANDING (L)	1:48 (2%)	1:48 (2%)
RAMP (R)	1:12 (8.33%)	1:48 (2%)
CLEAR SPACE (C)	1:20 (5%)	1:48 (2%)

CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL.

MAXIMUM SLOPES

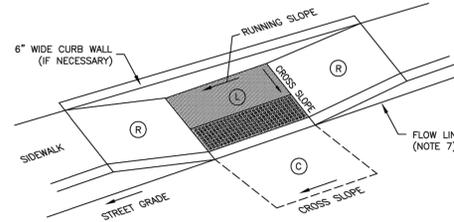
Corner curb cut assembly

Plan No. **235**

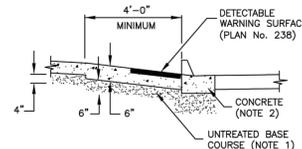
LANDING AT STREET LEVEL

- NARRATIVE:
- SITE CONDITIONS WILL VARY. CONFIGURATION OF RAMP AND LANDING MAY BE CHANGED, BUT THEY MUST MEET DIMENSIONS AND SLOPES SHOWN HERE.
 - GRADE BREAKS MUST BE PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL.
 - USE OF FLARES, CURB WALLS, ETC., ARE AT ENGINEER'S DISCRETION.
 - LENGTH OF ANY RAMP NOT REQUIRED TO EXCEED 15 FEET.

- (L) = 4 FEET SQUARE MINIMUM
- (R) = 4 FEET WIDE MINIMUM
- (C) = 4 FEET SQUARE MINIMUM



EXAMPLE 5



MATERIALS

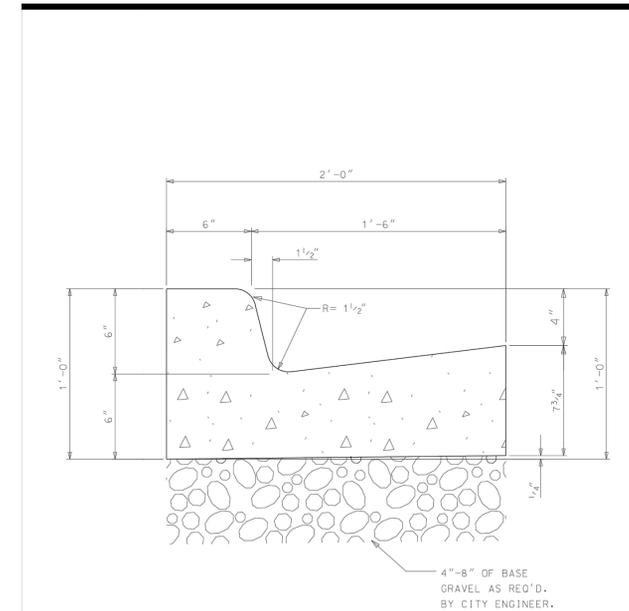
	RUNNING SLOPE	CROSS SLOPE
LANDING (L)	STREET GRADE	1:48 (2%)
RAMP (R)	1:12 (8.33%)	1:48 (2%)
CLEAR SPACE (C)	1:20 (5%)	STREET GRADE

CROSS SLOPE IS PERPENDICULAR TO DIRECTION OF PEDESTRIAN TRAVEL. RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL.

MAXIMUM SLOPES

Tangent curb cut assembly

Plan No. **236**



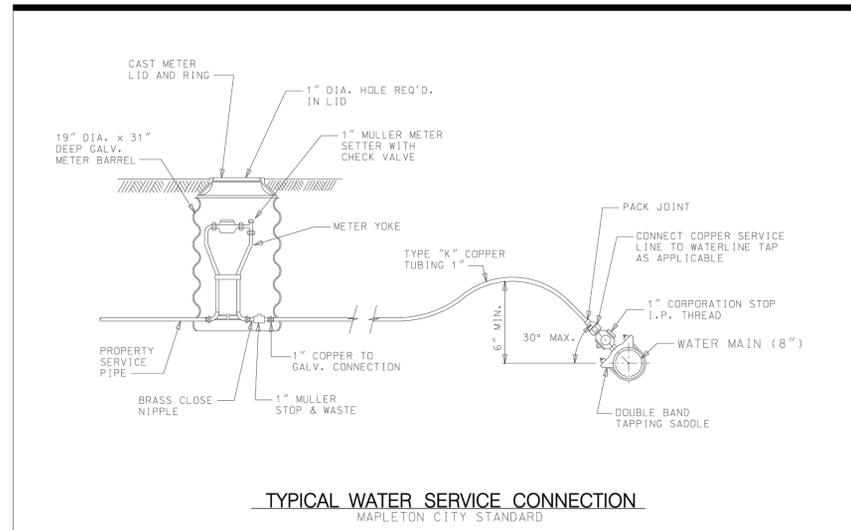
2'-0" CURB AND GUTTER
MAPLETON CITY STANDARD

MAPLETON CITY CORPORATION

Standard Drawing

CG-01

REVISED AUGUST 2004



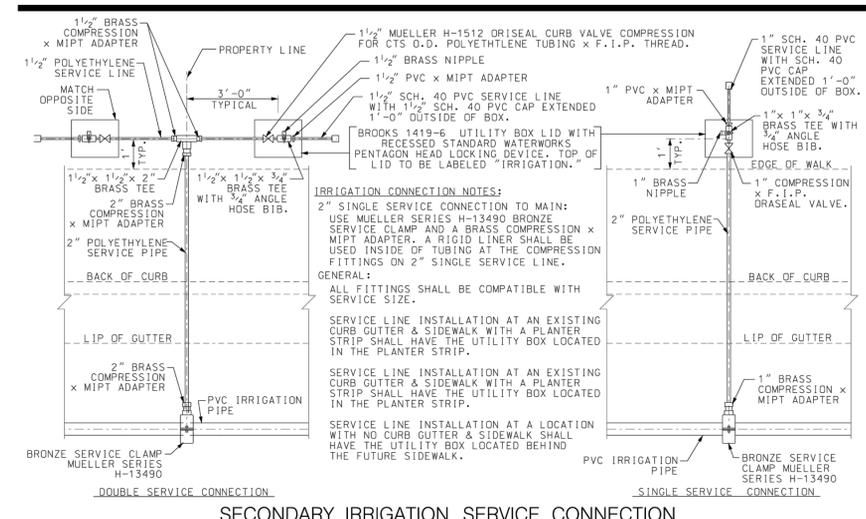
TYPICAL WATER SERVICE CONNECTION
MAPLETON CITY STANDARD

MAPLETON CITY CORPORATION

Standard Drawing

W-01

REVISED AUGUST 2004



SECONDARY IRRIGATION SERVICE CONNECTION
MAPLETON CITY STANDARD

MAPLETON CITY CORPORATION

Standard Drawing Addendum

PRESSURIZED IRRIGATION-01

ADOPTED JULY 2010

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5				DRAWN BY:	DATE:
4				CHECKED BY:	DATE:
3				APPROVED:	DATE:
2				COGO FILE:	DATE:
1				REV. COGO FILE:	DATE:



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HARVEY SUBDIVISION

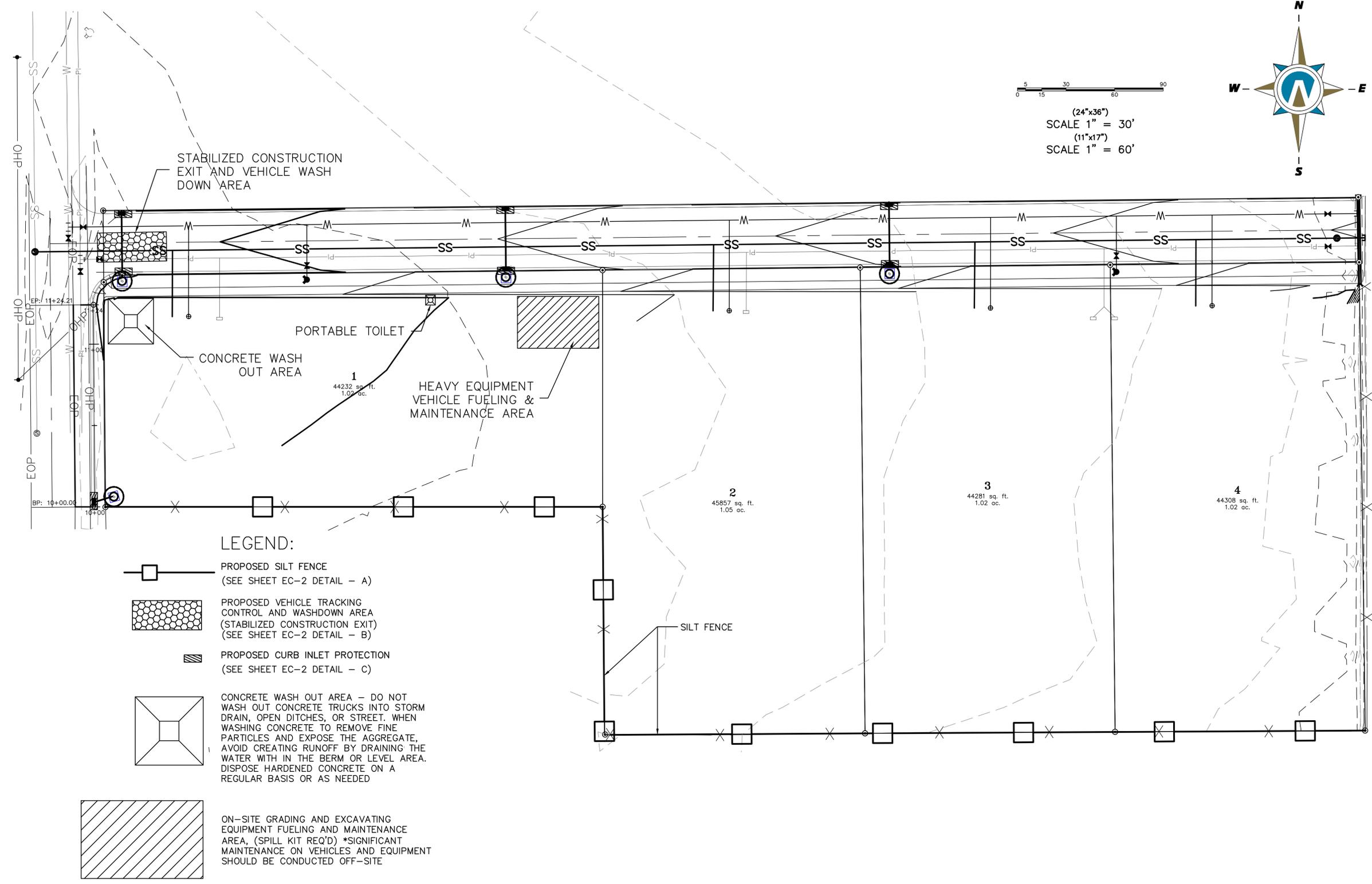
DETAIL
MAPLETON, UTAH

JOB NO.
3-13-086

SHEET NO.
DT-03



(24"x36")
 SCALE 1" = 30'
 (11"x17")
 SCALE 1" = 60'



LEGEND:

- PROPOSED SILT FENCE
(SEE SHEET EC-2 DETAIL - A)
- PROPOSED VEHICLE TRACKING CONTROL AND WASHDOWN AREA (STABILIZED CONSTRUCTION EXIT)
(SEE SHEET EC-2 DETAIL - B)
- PROPOSED CURB INLET PROTECTION
(SEE SHEET EC-2 DETAIL - C)
- CONCRETE WASH OUT AREA - DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAIN, OPEN DITCHES, OR STREET. WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING RUNOFF BY DRAINING THE WATER WITH IN THE BERM OR LEVEL AREA. DISPOSE HARDENED CONCRETE ON A REGULAR BASIS OR AS NEEDED
- ON-SITE GRADING AND EXCAVATING EQUIPMENT FUELING AND MAINTENANCE AREA, (SPILL KIT REQ'D) *SIGNIFICANT MAINTENANCE ON VEHICLES AND EQUIPMENT SHOULD BE CONDUCTED OFF-SITE
- PORTABLE TOILET

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

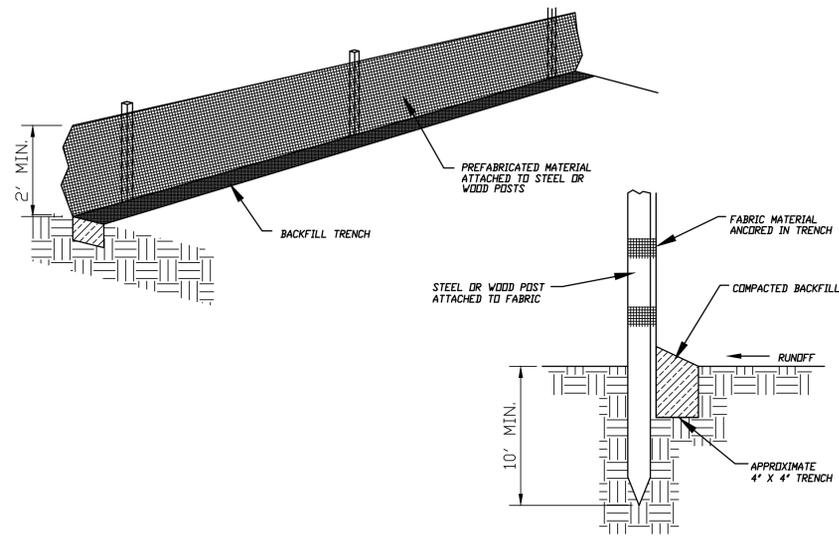
5		DESIGNED BY:	DATE:
4		DRAWN BY:	DATE:
3		CHECKED BY:	DATE:
2		APPROVED:	DATE:
1		COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE
K:\3-13-086 Mapleton Scotty Hall\CAD\Design\EROSION CONTROL PLAN.dwg 1/29/2014 11:23 AM			

Northern ENGINEERING INC
 ENGINEERING-LAND PLANNING
 CONSTRUCTION MANAGEMENT

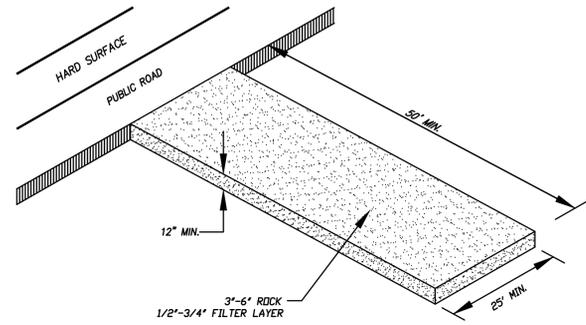
1040 E. 800 N.
 OREM, UTAH 84097
 (801) 802-8992

HARVEY SUBDIVISION

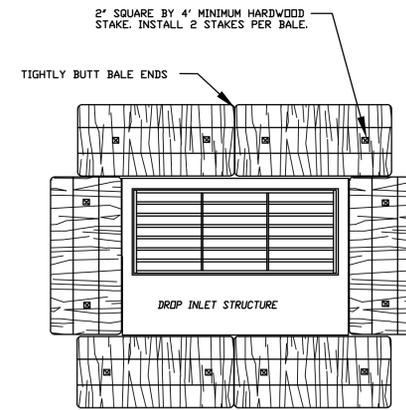
EROSION CONTROL PLAN	JOB NO. 3-13-086
MAPLETON CITY, UTAH	SHEET NO. EC-1



SILT FENCE DETAIL
-NTS-

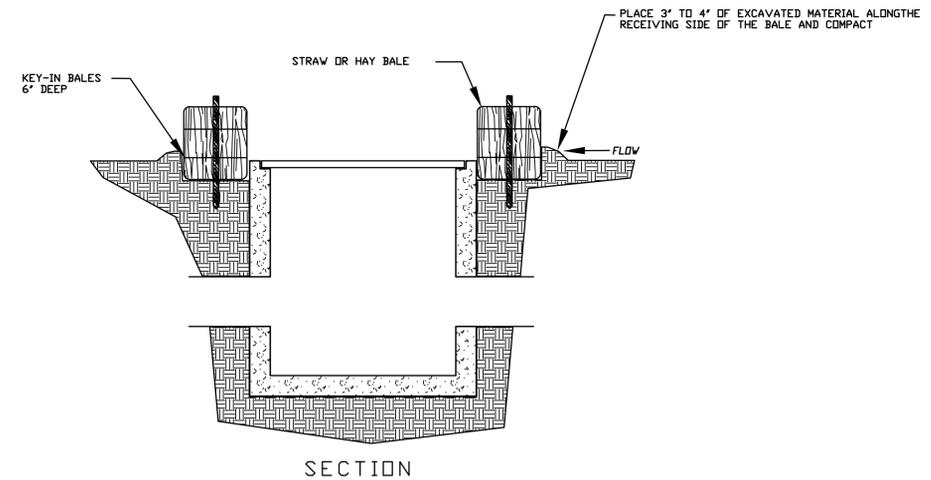


STABILIZED CONSTRUCTION EXIT
AND VEHICLE WASHDOWN AREA DETAIL
NOT TO SCALE



PLAN VIEW

- NOTES:
1. KEY-IN BALES IN AN EXCAVATED TRENCH AROUND THE PERIMETER OF THE DROP INLET STRUCTURE THAT IS 6' DEEP BY 4' BALE WIDTH WIDE.
 2. OVERLAP ON CORNERS MUST BE AT LEAST HALF A BALE WIDE.
 3. DEPENDING ON THE SIZE OF THE INLET STRUCTURE, MORE BALES THAN SHOWN MAY BE REQUIRED.
 4. IN MEDIAN AREAS, CONSTRUCT SO THAT THE TOPS OF THE BALES ARE NOT HIGHER THAN THE ADJACENT ROADWAY.
 5. MAINTAIN A PROPERLY FUNCTIONING SEDIMENT BARRIER THROUGHOUT CONSTRUCTION OR UNTIL DISTURBED AREAS CONTRIBUTING TO THE INLET HAVE BEEN PAVED OR VEGETATED.
 6. REMOVE SEDIMENT AS IT ACCUMULATES AND PLACE IT IN A STABLE AREA APPROVED BY THE ENGINEER.



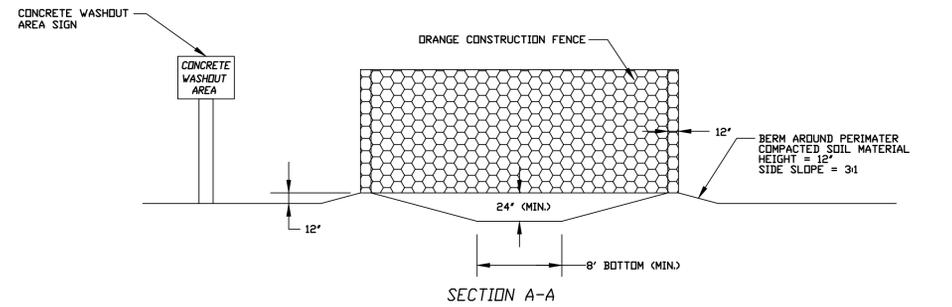
SECTION

STRAW BALE DROP INLET PROTECTION DETAIL

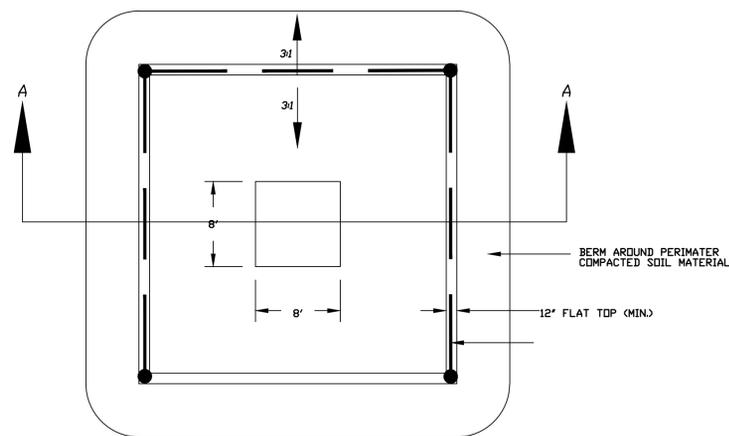
-NTS-

GENERAL NOTES:

1. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING ON-SITE EROSION DUE TO WIND AND RUNOFF. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL FACILITIES SHOWN.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DRAINAGE AND EROSION CONTROL FACILITIES AS REQUIRED. STREETS SHALL BE KEPT CLEAN OF DEBRIS FROM SITE TRAFFIC.
3. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE CITY OR COUNTY PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES.
4. CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY, AND REMOVED WHEN THE SITE IS PAVED.
5. ALL SWPPP DRAINAGE SYSTEMS USING A GEOTECHNICAL FABRIC FOR INLET GRATE PROTECTION MUST HAVE FABRIC REGULARLY CLEANED (14 DAY INTERVAL MAX, MORE FREQUENTLY IF NEEDED) TO INSURE THAT SILT DOES NOT FORM IMPERMEABLE BARRIER OVER INLET.



SECTION A-A



CONCRETE WASHOUT PIT
-NTS-

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

NO.	REVISIONS	BY	DATE	REV. COGO FILE:	DATE:
5				DESIGNED BY:	DATE:
4				DRAWN BY:	DATE:
3				CHECKED BY:	DATE:
2				APPROVED:	DATE:
1				COGO FILE:	DATE:



Northern ENGINEERING INC
ENGINEERING—LAND PLANNING
CONSTRUCTION MANAGEMENT

1040 E. 800 N.
OREM, UTAH 84097
(801) 802-8992

HARVEY SUBDIVISION

EROSION CONTROL DETAILS

JOB NO.
3-13-086

MAPLETON, UTAH

SHEET NO.
EC-2

MAPLETON CITY DEVELOPMENT REVIEW COMMITTEE MINUTES

April 8th, 2014

125 West Community Center Way (400 North), Mapleton, Utah 84664

On April 2nd, 2014 Brant Tuttle resubmitted plans and missing application information for a 4 lot subdivision at approximately 400 South Main Street. The 4.81 acre property is zoned RA-1 and the project includes the construction of a city street to be known as 400 South. These comments are based on the subdivision and construction plans submitted on April 2nd, 2014.

Community Development Department

Sean Conroy, Community Development Director, Phone: (801) 806-9101, Fax: (801) 489-5657

Email: sconroy@mapleton.org

Brian Tucker, Planner, Phone: (801) 806-9108, Fax: (801) 489-5657

Email: btucker@mapleton.org

Please address the following concerns in revised drawings:

Application Deficiencies:

1. The applicant must submit evidence of review of the plat by the electric, gas and telephone utility providers.
2. If the applicant intends to request future reimbursement for specific on and off site improvements the applicant must submit written notification of that intent prior to the recording of the final plat.

Comments for plans submitted April 2, 2014:

1. The "Planning Commission Approval" signature block should have a signature line for the "Community Development Director" rather than the "Planning Director".

Engineering and Public Works Division

Gary Calder, City Engineer, Email: gcalder@mapleton.org

Scott Bird, Public Works Operation Director, Email: sbird@mapleton.org

Phone (801) 489-6253, Fax (801) 489-5179

Address the following concerns in revised drawings:

Project: Harvey Date: April 21, 2014

Site Grading:

1. Clearing and Grubbing of site required

Sewer System:

1. Label sewer main - 8" PVC SDR 35.

Water System:

1. Water Model review by RB&G (801) 374- 5771, the cost of this review is the responsibility of the developer.
2. Label water main as 8" DI class 350

Secondary Water (Pressure Irrigation):

1. The new 12" PI water line as requested should be changed to 8" to meet master plan. This new line should be 5' from existing 20" PI waterline.
2. Show connection with valves from 20" PI waterline to 8" PI waterline.
3. Label - Pressure Irrigation as PVC C900/905 SDR 18

Roadway:

1. Roadway: The temporary turn-around will need to be hard surfaced with road base or asphalt.
 - a. Place note on plat that - temporary turn-around can be removed when roadway improvements are extended to the east in the future.

Storm Drain:

1. SWPPP will be required

Miscellaneous:

1. Receive irrigation company approval for work on Mapleton Irrigation Company ditches
2. Mapleton/APWA standards will apply.

Upon final plat approval from the final decision making body (Planning Commission or City Council), the following items will be required:

- Revise drawings to address any outstanding issues raised in the DRC comments and/or project conditions.
- Applicant may choose to either 1) establish a performance bond and durability bond agreement prior to plat recording (amount to be determined by City Engineer) or 2) to install any required improvements (i.e. utilities, roads, curb, gutter, sidewalk, etc.) without a performance bond (durability bond still required). If option 2 is selected, the plat will not be recorded until the City has accepted the improvements.
- Payment of impact fees (\$4,528 per lot). An additional impact fee of \$6,968 per lot will be required at the time of building permit issuance.
- Submit one water share per lot (Mapleton Irrigation or Hobble Creek shares).
- Payment of engineering inspection fees (\$170 per lot).
- Payment of street light fee (\$450 per lot).
- Submit a SWPPP and Land Disturbance application and fee (\$500). Contact Scott Bird at Public Works (489-6253) to review this requirement.
- Submit final mylar with all required signatures.
- Submit a check made out to Utah County Recorder (\$30 per page and \$1 per lot).

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MAPLETON CITY
PLANNING COMMISSION MINUTES
April 24, 2014

5 **PRESIDING AND CONDUCTING:** Vice-Chairman Golden Murray

6
7 **Commissioners in Attendance:** Justin Schellenberg
8 Keith Stirling

9
10 **Staff in Attendance:** Sean Conroy, Community Development Director
11 Brian Tucker, Planner

12
13 **Minutes Taken by:** April Houser, Executive Secretary
14

15 Vice-Chairman Murray called the meeting to order at 6:34pm. Justin Schellenberg gave the invocation
16 and Keith Stirling led the Pledge of Allegiance.

17
18 *Items are not necessarily heard in the order listed below.*

19
20 Alternate Commissioner Justin Schellenberg was seated as a voting member.

21
22 **Item 1. Planning Commission Meeting Minutes – April 3, 2014**

23
24 **Motion:** Commissioner Stirling moved to approve the April 3, 2014 Planning Commission
25 Minutes.

26 **Second:** Commissioner Schellenberg

27 **Vote:** Unanimous
28

29 **Item 3. Consideration of Preliminary and Final Plat approvals for the Harvey Subdivision**
30 **Plat “B”, consisting of four lots located generally at 400 South Main Street in the**
31 **Residential-Agricultural (RA-1) Zone.**
32

33 **Brian Tucker**, Planner, went over the Staff Report for those in attendance. This is the remaining parcel
34 from the Harvey Subdivision Plat A. It is a rural property that is relatively flat. It is a 4.1 acre parcel and
35 is zoned RA-1, which is a one-acre per lot zone. Each proposed lot would have in excess of the 125’
36 frontage requirement. The street being proposed would be a definite benefit for the City. A letter was
37 given to the City from Mike and Jean Aiello who have cattle in this area that are held in with an electrical
38 fence. They would propose a 6’ privacy fence be installed to keep their animals and future residents of
39 these lots from having issues. The ditch in this area will likely be piped, but that issue will need to be
40 addressed by Mapleton Irrigation. The City has no requirement that a fence be built. **Commissioner**
41 **Schellenberg** asked if there is a concern with maintaining that the Temporary Turn Around not be
42 landscaped in a way that would prohibit its use. Brian stated that the City has the easement in place
43 allowing it to be used, if needed, for emergency vehicles. The City would be responsible for snow
44 removal since this would be a city street. There will be a park strip that should be sufficient for any snow
45 that would need to be moved off of the street. Brian stated that the Engineering would address the turn
46 around on the construction drawings. **Commissioner Stirling** asked which way the Pressurized Irrigation
47 was flowing in this area, and Sean stated that it flows to the north at this time. The proposed Storm Drain
48 is a sump system, and calculations will need to be provided showing that this is sufficient. Commissioner

49 Schellenberg felt that retention/detention basins would be more logical. The applicant will be required to
50 get approval from UDOT in regards to tying in to Main Street.

51
52 **Brent Tuttle**, with Northern Engineering, stated that this property falls in place with the layout submitted
53 back in 1998 when the Harvey A Subdivision was completed. The Geotech Report that has been done
54 does show that a sump system would be sufficient in this area. The sections on the latest plan submittal
55 indicate what UDOT asked the applicants to put on the drawings. The irrigation ditch will be piped.
56 Mapleton Irrigation will sign the plat, so doing that will show their approval on what is being required in
57 regards to the ditch.

58
59 **Vice-Chairman Murray** opened the Public Hearing. **Richard Howell** stood on behalf of Mike Aiello
60 and stated that he has had issues in the past where there was a development put in next to his animals,
61 which is the reason he is asking that they install a privacy fence. The current ditch, as it is today, could
62 seep into the east lots in the proposed development. For this reason they would request piping the ditch.
63 **Shawn Bonnett** stated that he agrees with Mike Aiello. He proposes that privacy fencing be installed
64 along the border of the development. **Debbie Harvey**, current owner of the property, stated that in 1998
65 this property was allowed to be in the RA-1 Zone. They have paid lots of taxes on this land, and feel this
66 would be a nice addition to the area. She feels the ditch should be capped, but does not agree with the
67 fencing being asked by the surrounding property owners. Mrs. Harvey stated that it should be the
68 responsibility of the homeowners to decide if they want to install a fence around their lot. No additional
69 comments were given and the Public Hearing was closed.

70
71 **Commissioner Stirling** asked if there was any fencing in the area currently. Brian stated that there is a
72 field fence along the north. The gentleman in this area stated that there is also electrical fencing along the
73 south of the proposed development. Mr. Howell stated that he has had water seep into his basement
74 during wet times, but has not had a problem for several years.

75
76 **Motion:** Commissioner Schellenberg moved to approve the Preliminary and Final Plat for the
77 Harvey Subdivision Plat "B", consisting of four lots located generally at 400 South Main
78 Street in the Residential-Agricultural (RA-1) Zone, with the conditions listed below:
79 1. All outstanding issues raised in the Development Review Committee (DRC)
80 minutes dated February 12, 2014 and April 8, 2014 shall be addressed prior
81 to plat recording.
82 2. A letter be sent to the Irrigation Company asking that the irrigation ditch be
83 piped, or safety fencing be installed if piping is not required, to ensure safety
84 in the area.

85 **Second:** Commissioner Stirling

86 **Vote:** Unanimous

87
88 **Item 4. Consideration of recommendations to the City Council regarding an ordinance**
89 **amending Mapleton City Code 17.15 outlining standards for the use of xeriscaping**
90 **(drought tolerant) landscaping in City parkways.**

91
92 **Sean Conroy**, Community Development Director, went over the Staff Report for those in attendance.
93 The City currently has requirements on park strips that they have grass and trees installed in these areas.
94 Staff is proposing that the option be allowed for developers to xeriscape in the park strip areas. This
95 would be allowed as an alternative, so the ordinance would state that 30% of the park strip area be
96 covered in shrubbery or plants, so that these areas are not covered with solid hard surface materials. In
97 the future they would like to have discussion on the ability to use xeriscaping in the front yards, but at this
98 time it is only for park strip areas. CC&R's would still govern developments, but could not be less

99 restrictive than the City’s ordinance. **Commissioner Schellenberg** recommended that in Section
100 17.15.120B to state “*satisfies*” instead of “*includes*” on the last line of the paragraph.

101
102 **Vice-Chairman Murray** opened the Public Hearing. No comments were given and the Public Hearing
103 was closed.

104
105 **Motion:** Commissioner Schellenberg moved to recommend approval to the City Council of an
106 ordinance amending Mapleton City Code 17.15 outlining standards for the use of
107 xeroscaping (drought tolerant) landscaping in City parkways, and that alterations to the
108 front yard landscaping requirements be considered in the near future, with the
109 recommendations listed below:

- 110 1. Slopes will need special consideration on the stability of the materials being
111 used, and steps be taken to restrict erosion of such materials.

112 **Second:** Commissioner Stirling

113 **Vote:** Unanimous

114
115 **Item 5. Planning Commission Training.**

116
117 **Sean Conroy**, Community Development Director, had no training for this evening but gave the
118 Commissioners some updates on items taking place throughout the City. One of these items was the
119 Canal Parkway Trail, and its timeline. Some consulting to help with Economic Development within the
120 City will likely be coming forward in the future as well.

121
122 **Item 6. Adjourn.**

123
124 **Motion:** Commissioner Stirling moved to adjourn the meeting at 8:04pm.

125 **Second:** Commissioner Schellenberg

126 **Vote:** Unanimous

127
128
129 _____
April Houser, Executive Secretary

Date: