Mapleton City Planning Commission Staff Report

Meeting Date: May 8, 2014

Item: 2
Applicant: Dave Helm, Ponderosa Property
Location: Approximately 650 West between 800 North and 1200 North
Prepared by: Brian Tucker, Planner
Public Hearing Item: Yes
Zone: RA-2

REQUEST

Consideration of Preliminary and Final Plat approval of the Stonebridge Subdivision Plat "A", consisting of 28 lots located generally at 650 West between 800 North and 1200 North and amendment of the Transportation Master Plan to accommodate a minor alignment of local access streets within the project area.

BACKGROUND AND PROJECT DESCRIPTION

The project site is approximately 13.2 acres and is located in the RA-2 zone at approximately 650 West between 800 North and 1200 North. The developer is proposing a 28 lot subdivision that includes connections to both 800 North and 1200 North.

A subdivision also known as the Stonebridge Subdivision Plat "A" had been approved but not recorded in July 2007. That subdivision included this 13.2 acre project area and the 6.34 acre parcel that the new LDS Church on 1023 N 300 W was constructed on. That church parcel is no longer part of the subdivision and as a result the subdivision had to be redesigned. The approved road configuration for that now unworkable subdivision, while never recorded or constructed, was adopted as part of the 2010 Transportation Master Plan and those proposed streets were designated as minor local roads. Since the project had to be redesigned, the developers have identified a different lot configuration that maximizes lot yield and minimizes excess road construction.

EVALUATION

General Plan: Prior to 2007 the Mapleton City General Plan designated the project area as appropriate for Low Density Residential, a designation that is typical of one acre lots. The General Plan was amended from Low Density Residential to Medium Density Residential in 2007 as part of the original Stonebridge Subdivision approval. Lots with a 14,500 square foot minimum are typical for this General Plan designation.

Zoning: Prior to 2007 the Zoning Map designated the project area as "Agricultural-Residential (A-2)". The Mapleton City Zoning Map was amended from A-2 to RA-2 in 2007 as part of the original Stonebridge Subdivision approval. The RA-2 zoning district requires that parcels include 14,500 square feet of area, frontage on a city street and 100 feet of width as measured at the building line. The proposed lots all meet these standards.

Master Transportation Plan/Street Design: The street configuration for the original Stonebridge Subdivision was included in the 2010 Mapleton City Master Transportation Map. This subdivision was approved but not recorded so no road construction was undertaken and no road dedications exist in the project area. Since the previous road design was included in the adopted transportation plan and since the subdivision ordinance could be interpreted to indicate that changes to that master plan must be adopted prior to subdivision approval, the Planning Commission will need to make a recommendation that the Transportation Master Plan be amended to include this new street alignment.

The proposed street alignment does not decrease the amount of connectivity with the existing street system except that there is no longer a road providing a direct connection with 300 West. Access to both 800 North and 1200 North are maintained along with a future access to 800 West. Since the previous development plan included a parcel with over four hundred feet of frontage on 300 West a connection to 300 West was essential but as the current project area does not border 300 West it is less important. Given that 800 North and 1200 North are

located only ¼ mile apart this additional access, which was designated as a street whose primary purpose is to provide access to property rather than carry significant traffic, is not critical to the movement of traffic in this area.

An advantage to this proposed street alignment is the opportunity to align the proposed streets in the Stonebridge project with a proposed street in the Walter Farms (a subdivision application which staff expects to have reviewed by the Planning Commission in June) project located on the south side of 800 North in this same area. The former street alignment would have resulted in three separate intersections within approximately 350 feet. The proposed alignment should result in only two intersections that are approximately 350 feet apart.

Finally, as the proposed development has two additional lots on approximately the same amount of street, the City will have additional property tax revenue with which to pay for future maintenance of the street system.

Traffic Impact: Often when a relatively substantial subdivision is proposed in an existing neighborhood, traffic congestion becomes an issue for those who live in the area. The Mapleton City Engineer estimates that 1200 North is currently operating at service level "A". Service level "A" is defined as a road that is carrying 69% or less of its traffic capacity on a daily basis. The proposed subdivision of 28 lots will add between 252 and 308 trips per day, split between all modes of transportation (car trips, bike trips, pedestrian trips, etc.). These trips will be split between 800 North and 1200 North. Because 1200 North is the more substantial of the two streets it is likely that it will see more than half of these trips. Even if every trip was vehicular and made use of 1200 North the traffic impact would be an average of one additional vehicle every 5 minutes. This additional traffic is a relatively small impact on a major local street and this project will result in the widening of the south edge of 1200 North and the north edge of 800 North in the project area.

Review Criteria: MCC Chapter 17.04.050.B outlines the review standards that shall be used by the Planning Commission in making its determination. These standards are shown in attachment "1". The proposed project complies with these standards.

STAFF RECCOMENDATION

1. Recommend that the Mapleton City Transportation Plan be amended to reflect the streets proposed in the Stonebridge Subdivision Plat "A".
2. Recommend approval of the Preliminary and Final Plats for the "Stonebridge Subdivision Plat A" with the attached findings and condition.

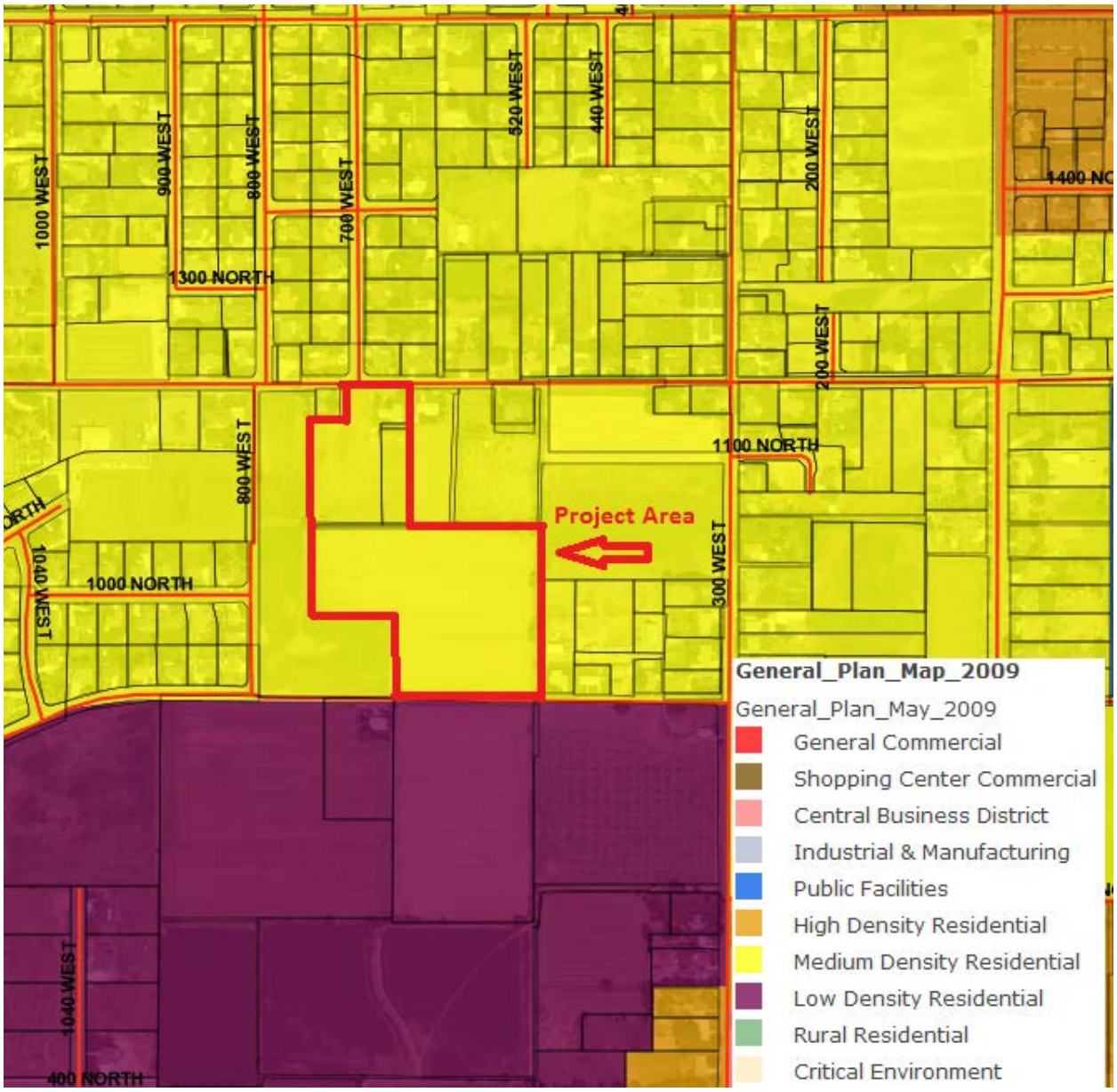
SPECIAL CONDITION

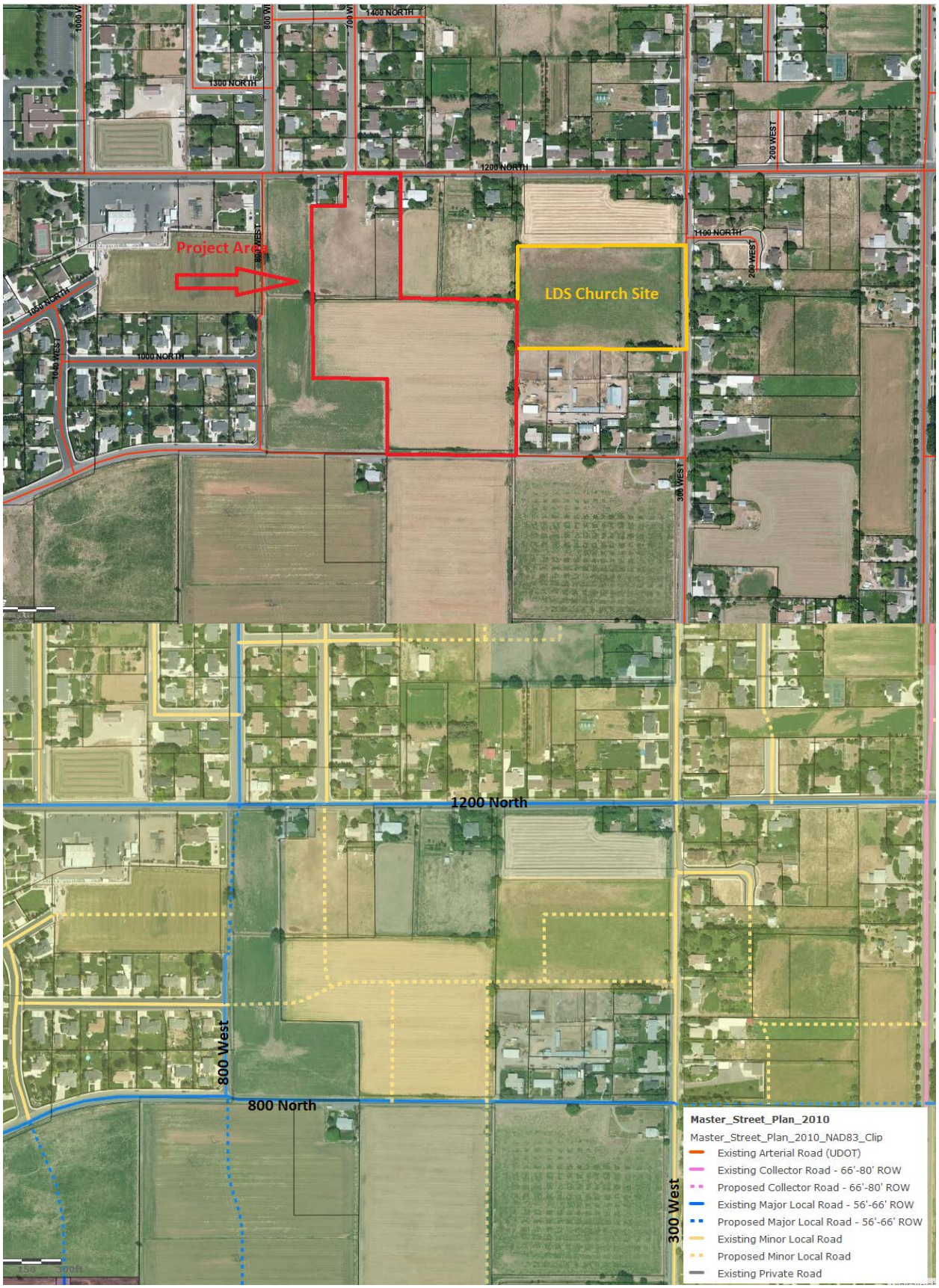
1. Any outstanding issues raised in the DRC minutes dated April 1, 2014 shall be addressed prior to plat recording.

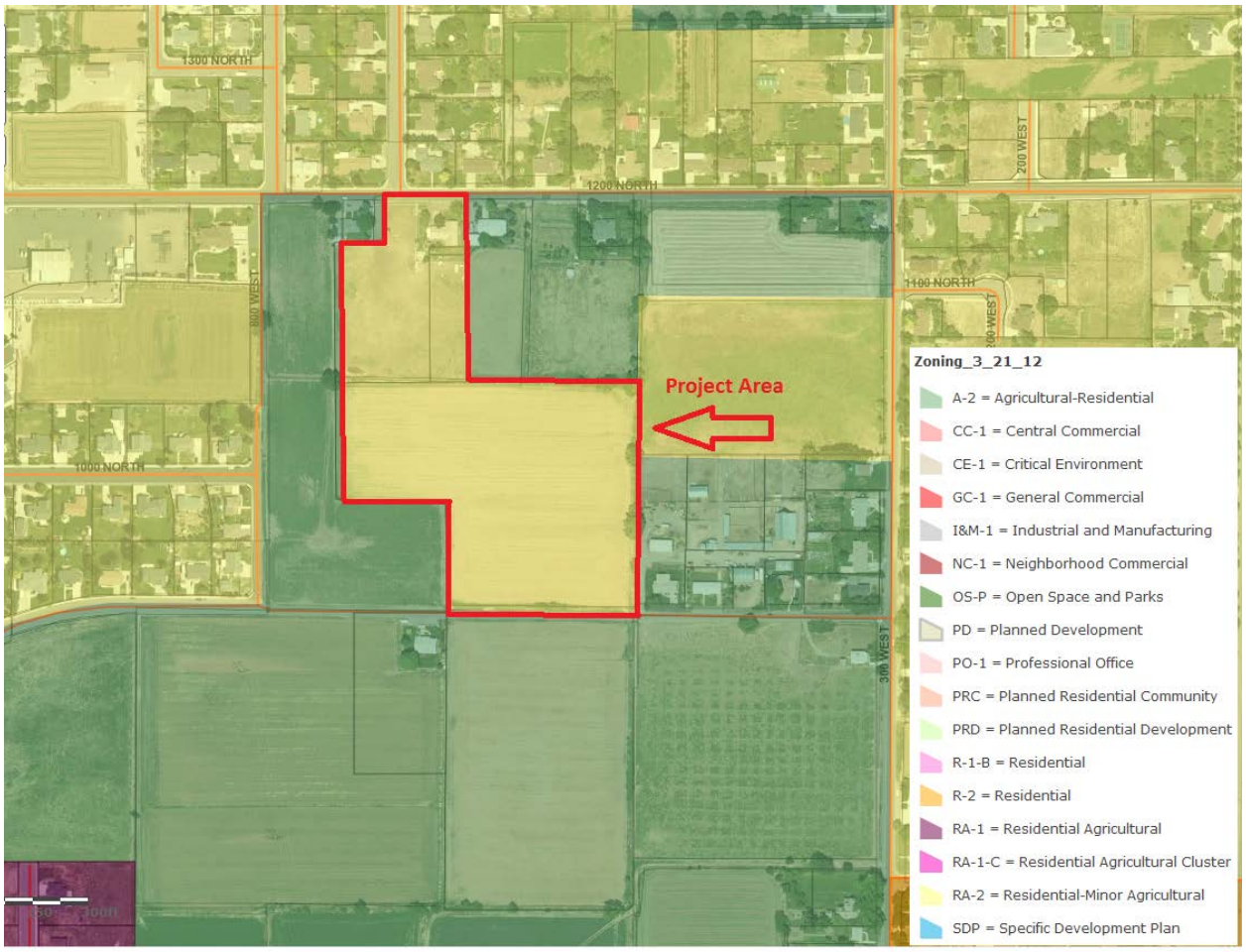
ATTACHMENTS

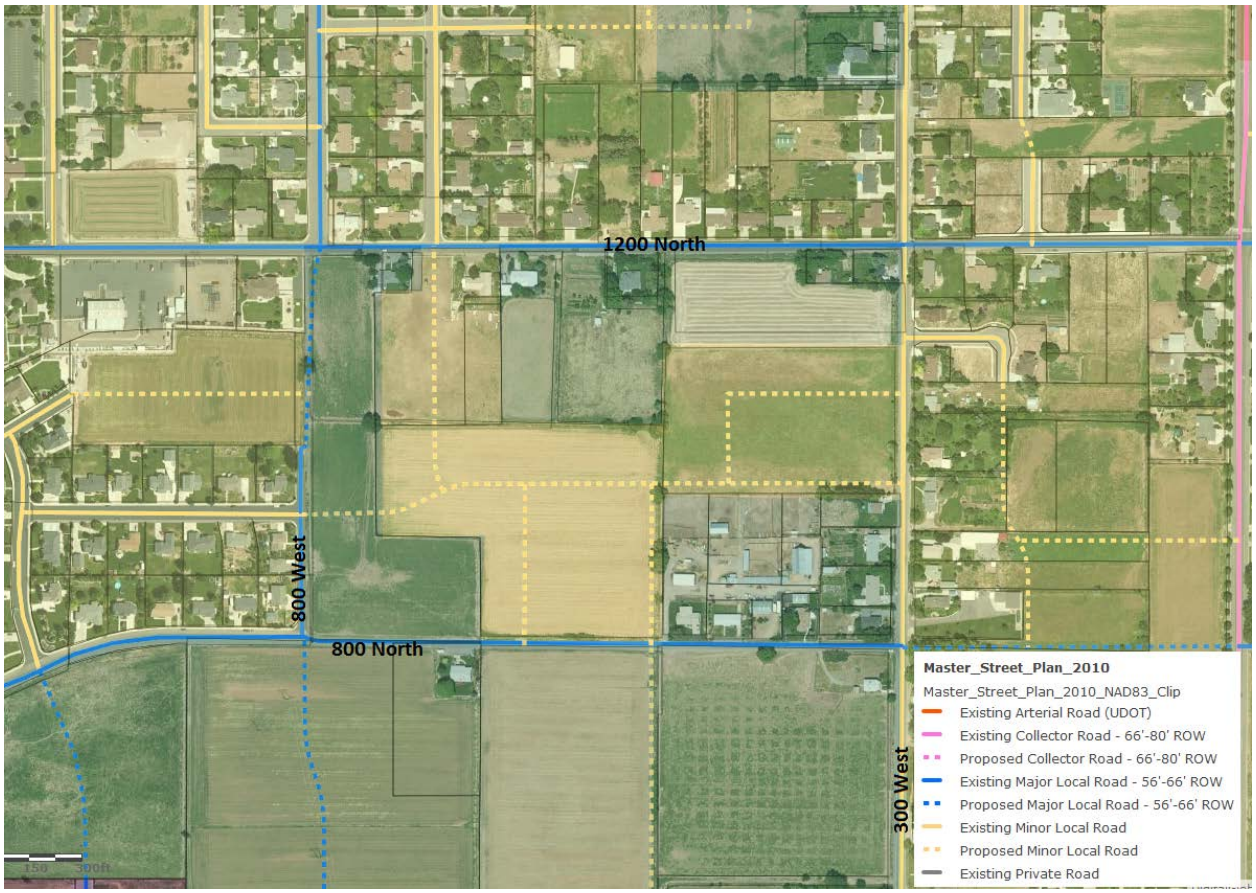
1. Findings for Decision.
2. General Plan, Zoning Map and Transportation Plan maps.
3. 2007 Subdivision Concept
4. Proposed Plat with preliminary construction drawings and proposed street cross sections.
5. DRC Minutes dated 04/01/2014.

Attachment “1” Findings for Decision		
No.	**Findings**	
1.	The plans, documents and other submission materials (including technical reports where required) are sufficiently detailed for proper consideration.	✔
2.	The submitted plans, documents and submission materials conform to applicable city standards.	✔
3.	The proposed development conforms to city zoning ordinances and subdivision design standards.	✔
4.	There are not natural or manmade conditions existing on the site or in the vicinity of the site defined in the preliminary plan that, without remediation, would render part or all of the property unsuitable for development.	✔
5.	The project provides for safe and convenient traffic circulation and road access to adjacent properties under all weather conditions.	✔
6.	The project does not impose an undue financial burden on the City.	✔
7.	The location and arrangement of the lots, roads, easements and other elements of the subdivision contemplated by the project are consistent with the city's general street map and other applicable elements of the general plan.	✔
8.	The project plan recognizes and accommodates the existing natural conditions.	✔
9.	The public facilities, including public utility systems serving the area are adequate to serve the proposed development.	✔
10.	The project conforms to the intent of the Subdivision Ordinance as described MCC Chapter 17.01.	✔


1000 WEST
900 WEST
800 WEST
700 WEST
520 WEST
440 WEST
200 WEST
1400 NO
1300 NORTH
200 WEST
1100 NORTH
800 WEST
Project Area
300 WEST
1040 WEST
1000 NORTH
1040 WEST
400 NORTH
General_Plan_Map_2009
General_Plan_May_2009
General Commercial
Shopping Center Commercial
Central Business District
Industrial & Manufacturing
Public Facilities
High Density Residential
Medium Density Residential
Low Density Residential
Rural Residential
Critical Environment


1300 NORTH
1400 NORTH
1200 NORTH
1100 NORTH
1000 NORTH
1040 WEST
800 WEST
200 WEST
300 WEST
Project Area
LDS Church Site
1200 North
800 West
800 North
300 West
Master_Street_Plan_2010
Master_Street_Plan_2010_NAD83_Clip
Existing Arterial Road (UDOT)
Existing Collector Road - 66'-80' ROW
Proposed Collector Road - 66'-80' ROW
Existing Major Local Road - 56'-66' ROW
Proposed Major Local Road - 56'-66' ROW
Existing Minor Local Road
Proposed Minor Local Road
Existing Private Road


1300 NORTH
1200 NORTH
1100 NORTH
1000 NORTH
200 WEST
300 WEST
Project Area
Zoning_3_21_12
A-2 = Agricultural-Residential
CC-1 = Central Commercial
CE-1 = Critical Environment
GC-1 = General Commercial
I&M-1 = Industrial and Manufacturing
NC-1 = Neighborhood Commercial
OS-P = Open Space and Parks
PD = Planned Development
PO-1 = Professional Office
PRC = Planned Residential Community
PRD = Planned Residential Development
R-1-B = Residential
R-2 = Residential
RA-1 = Residential Agricultural
RA-1-C = Residential Agricultural Cluster
RA-2 = Residential-Minor Agricultural
SDP = Specific Development Plan


1200 North
800 West
800 North
300 West
Master_Street_Plan_2010
Master_Street_Plan_2010_NAD83_Clip
Existing Arterial Road (UDOT)
Existing Collector Road - 66'-80' ROW
Proposed Collector Road - 66'-80' ROW
Existing Major Local Road - 56'-66' ROW
Proposed Major Local Road - 56'-66' ROW
Existing Minor Local Road
Proposed Minor Local Road
Existing Private Road

MAPLETON CITY DEVELOPMENT REVIEW COMMITTEE MINUTES

April 1, 2014 at 8:30am

125 West Community Center Way (400 North), Mapleton, Utah 84664

On 27 March 2014, Dave Helm submitted an application to subdivide approximately 13 acres in the RA-2 zone into a 28 lot subdivision located at approximately 600 W and 800 N.

The items below include 1) requested changes to the submitted plans, 2) other items required as part of the application and 3) informational items regarding city standards. **All items that include an * and are bolded are required prior to the application being scheduled for a hearing.**

Community Development Division

Sean Conroy, Community Development Director, Phone: (801) 806-9101
Email: sconroy@mapleton.org
Brian Tucker, Planner, Phone: (801) 806-9108, Fax: (801) 489-5657
Email: btucker@mapleton.org

Please submit revised drawings and the following corrections:

Application Deficiencies:

1. The applicant must submit evidence of ability to satisfy water rights conveyance requirements with subdivision application. All irrigation shares must be dedicated from the Mapleton or Hobble Creek Irrigation Company for each lot.
2. The applicant must submit evidence of review of the plat by the electric, gas and telephone utility providers.

Comments for plans submitted April 1, 2014:

1. For subdivisions containing eight (8) or more lots, cluster mailboxes shall be installed at designated locations within the subdivision as shown on the preliminary plan.
2. The final call in the boundary description does not match the length on the preliminary plat. The boundary description calls out 447.66 feet but the plat shows a distance of only 446.66 feet. These calls should match.
3. The existing irrigation ditch must be piped. The plans must be submitted to and approved by Mapleton Irrigation.
4. **A subdivision has been proposed directly across the street (800 North) from your subdivision and we need to ensure that the offset in street alignment does not exceed 15' or is less than one hundred 120'. The engineer working on what is currently known as Walter Farms is Mark Greenwood and he is at (801) 374-6262.***
5. 700 West, as it exists north of 1200 North, ends directly across from the road you have named 700 West. It is important that these roads align properly.
6. In order to better relate to and provide continuity for existing streets, the City would prefer that the street you have named 1050 North be called 1000 North and that 575 West and 675 West be called 550 West and 650 West, respectively.
7. The Final Plat must include signature blocks for an Owners Dedication, an Acceptance of the Legislative Body with a line for the City Recorder, Planning Commission Approval,

Mapleton Irrigation Approval, City Engineering Approval, and an appropriate number of notary blocks. Signature lines must be provided for Rocky Mountain Power, Questar Gas, Century Link and Comcast. Please include a line for each notary to print their full name, their commission number and the words "A notary public commissioned in Utah" in the notary public signature block. This is a precaution to prevent issues with illegible notary stamps.

8. If the applicant is seeking future reimbursement for specific on-site and off-site improvements, written notification from applicant to city must be received prior to the recording of the final plat.
9. ~~The proposed lot 14 includes a "panhandle" that makes the lot very irregular and unwieldy in nature. According to Section 17.12.070 of Mapleton City Code "lots shall not contain peculiarly shaped elongations". It appears that there is an overlap with parcel 26:062:0032. Since it appears that lot 14 does not need this area to meet its minimum lot size, one solution might be that the overlap be resolved in favor of the owner of the neighboring parcel such that the new property line is located along the back of sidewalk for 700 West.~~ *Solved with revised plat sent by e-mail on April 8, 2014.*
10. ~~The previous versions of the Stonebridge Subdivision included the parcel that now has a church under construction and a road to 300 West. While there is no overwhelming need for the former street access to 300 West given that there are no homes planned on that parcel, the pedestrian access that the former street gave would be a loss. Please explore the idea of a mid-block pedestrian access between the proposed 575 West and the church property. One possibility is that the developer dedicates a public access easement between lots 4 and 5 with the pedestrian facility to be constructed at a later date.~~ *Solved with revised plat sent by e-mail on April 8, 2014.*

<u>Engineering and Public Works Division</u>

Gary Calder, City Engineer, Email: gcalder@mapleton.org
Scott Bird, Public Works Operation Director, Email: sbird@mapleton.org
Phone (801) 489-6253, Fax (801) 489-5179

Address the following concerns in revised drawings:
Project: Stonebridge "A" Date: April 7, 2014

Site Grading:

1. Clearing and grubbing will be required.

Sewer System:

1. 8" PVC SDR 35-Mainline Sewer/Concrete Collars on Manholes shall be labeled on drawings.
2. Extend 8" sewer on 1050 North to west property line.

Water System:

1. 8" D.I. class 350-Mainline Waterline/Concrete Collars on Water Valves shall be labeled on drawings.
    a. 800 North water line will need to be an 8" water main, confirm size and possible upgrade to an 8".
2. Water model reviewed by RB&G (801) 374- 5771, the cost of this review is the responsibility of the developer

Secondary Water (Pressure Irrigation):

1. 8" PVC C900/905 SDR 18-Mainline Secondary Main/Concrete Collars on Water Valves shall be labeled on drawings

Roadway:

1. Roadway:
    a. Align proposed 800 North concrete improvements with existing concrete to the west.
    b. Align proposed centerline of 700 West with existing 700 West.
2. Road x-sections:
    a. 40' x-section – show 2.5" asphalt w/ 1" overlay and 8" of road base - extend 10' PUE beyond S/W.
    b. 56' x-section show 2.5" asphalt w/ 1" overlay and 8" of road base. Show 10' PUE, show 42' asphalt paving width not 40'.

Storm Drain:

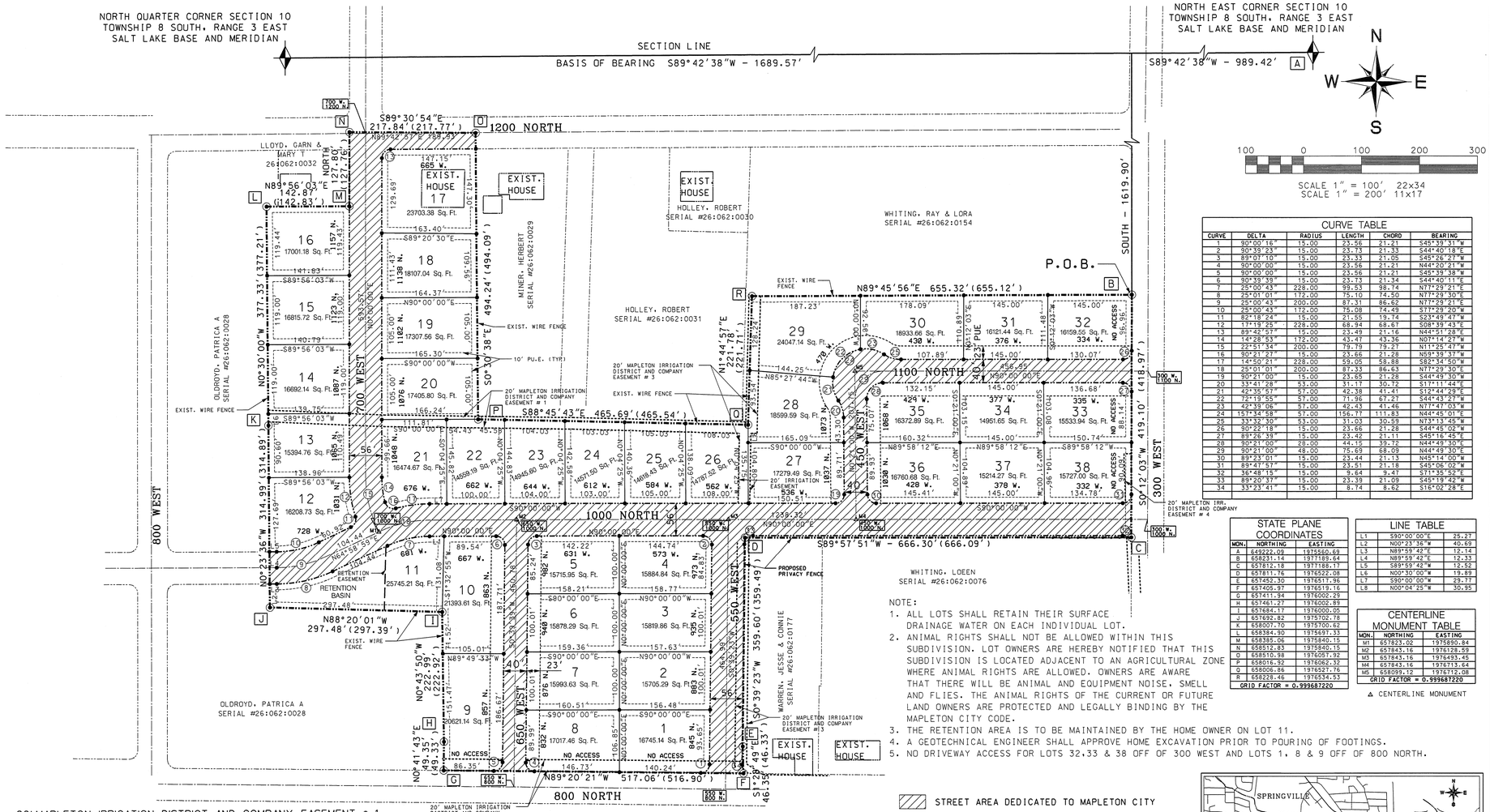
1. Boxes/Basins/Sumps (Sumps/inlets 300' spacing)
    a. Need to install storm drain box on 800 North sta 2+76
2. SWPPP and Land disturbance permits will be required.
3. Maintenance plan of basin will be required as per code.
    a. Show basin landscape plan

Miscellaneous:

1. Receive irrigation company approval for work on Mapleton Irrigation Company ditches
2. Plat will be required.
3. Power Pole relocations to be completed by developer.
4. Include trench detail (APWA) for 800 North irrigation pipe crossings.
5. Mapleton/APWA standards will apply

Upon final plat approval from the final decision making body (Planning Commission or City Council), the following items will be required:

- Revise drawings to address any outstanding issues raised in the DRC comments and/or project conditions.
- Applicant may choose to either 1) establish a performance bond and durability bond agreement prior to plat recording (amount to be determined by City Engineer) or 2) to install any required improvements (i.e. utilities, roads, curb, gutter, sidewalk, etc.) without a performance bond (durability bond still required). If option 2 is selected, the plat will not be recorded until the City has accepted the improvements**.**
- Payment of impact fees ($4,528 per lot). An additional impact fee of $6,968 per lot will be required at the time of building permit issuance.
- Submit one water share per lot (Mapleton Irrigation or Hobble Creek shares).
- Payment of engineering inspection fees ($170 per lot).
- Payment of street light fee ($450 per lot).
- Submit a SWPPP and Land Disturbance application and fee ($500). Contact Scott Bird at Public Works (489-6253) to review this requirement.
- Submit final mylar with all required signatures.
- Submit a check made out to Utah County Recorder ($30 per page an $1 per lot).



NOTE:

1. ALL LOTS SHALL RETAIN THEIR SURFACE DRAINAGE WATER ON EACH INDIVIDUAL LOT.
2. ANIMAL RIGHTS SHALL NOT BE ALLOWED WITHIN THIS SUBDIVISION. LOT OWNERS ARE HEREBY NOTIFIED THAT THIS SUBDIVISION IS LOCATED ADJACENT TO AN AGRICULTURAL ZONE WHERE ANIMAL RIGHTS ARE ALLOWED. OWNERS ARE AWARE THAT THERE WILL BE ANIMAL AND EQUIPMENT NOISE, SMELL AND FLIES. THE ANIMAL RIGHTS OF THE CURRENT OR FUTURE LAND OWNERS ARE PROTECTED AND LEGALLY BINDING BY THE MAPLETON CITY CODE.
3. THE RETENTION AREA IS TO BE MAINTAINED BY THE HOME OWNER ON LOT 11.
4. A GEOTECHNICAL ENGINEER SHALL APPROVE HOME EXCAVATION PRIOR TO POURING OF FOOTINGS.
5. NO DRIVEWAY ACCESS FOR LOTS 32,33 & 38 OFF OF 300 WEST AND LOTS 1, 8 & 9 OFF OF 800 NORTH.

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD	BEARING
1	90°00'16"	15.00	23.56	21.21	S45°39'31"W
2	90°39'23"	15.00	23.73	21.33	S44°40'18"E
3	89°01'10"	15.00	23.33	21.05	S45°26'27"W
4	90°00'00"	15.00	23.56	21.21	N44°20'21"W
5	90°00'00"	15.00	23.56	21.21	S45°39'38"W
6	90°39'39"	15.00	23.73	21.34	S44°40'11"E
7	25°00'43"	228.00	99.53	98.74	N77°29'21"E
8	25°01'01"	172.00	75.10	74.50	N77°29'30"E
9	25°00'43"	200.00	87.31	86.62	N77°29'21"E
10	25°00'43"	172.00	75.08	74.49	S77°29'20"W
11	82°18'24"	15.00	21.55	19.74	S23°49'47"W
12	117°19'25"	228.00	68.94	68.67	S08°39'43"E
13	89°42'57"	15.00	23.49	21.16	N44°51'28"E
14	14°28'53"	172.00	43.47	43.36	N07°14'27"W
15	22°51'34"	200.00	79.79	79.27	N11°25'47"W
16	90°21'27"	15.00	23.66	21.28	N59°39'37"W
17	14°50'21"	228.00	59.05	58.88	S82°34'50"W
18	25°01'01"	200.00	87.33	86.63	N77°29'30"E
19	90°21'00"	15.00	23.65	21.28	S44°49'30"W
20	33°41'28"	53.00	31.17	30.72	S17°11'44"E
21	42°35'57"	57.00	42.38	41.41	S12°44'29"E
22	72°19'55"	57.00	71.96	67.27	S44°43'27"W
23	42°39'08"	57.00	42.43	41.46	N77°47'03"W
24	157°34'58"	57.00	156.77	111.83	N44°45'01"E
25	33°32'30"	53.00	31.03	30.59	N73°13'45"W
26	90°22'18"	15.00	23.66	21.28	S44°45'02"W
27	89°26'39"	15.00	23.42	21.11	S45°16'45"E
28	90°21'00"	28.00	44.15	39.72	N44°49'30"E
29	90°21'00"	48.00	75.69	68.09	N44°49'30"E
30	89°23'01"	15.00	23.44	21.13	N45°14'00"W
31	89°41'51"	15.00	23.51	21.18	S45°06'02"W
32	36°48'15"	15.00	9.64	9.47	S71°35'52"E
33	89°20'37"	15.00	23.39	21.09	S45°19'42"W
34	33°23'41"	15.00	8.74	8.62	S16°02'28"E

STATE PLANE COORDINATES

MON.	NORTHING	EASTING
A	649223.09	1975560.69
B	658231.14	1977189.64
C	657812.18	1977189.17
D	657811.76	1976522.08
E	657452.30	1976511.96
F	657405.97	1976519.16
G	657411.94	1976002.29
H	657461.27	1976002.89
I	657684.17	1976000.05
J	657692.82	1975702.78
K	658007.70	1975700.62
L	658384.90	1975697.33
M	658385.06	1975840.15
N	658512.83	1975840.15
O	658510.98	1976057.92
P	658016.92	1976062.32
Q	658006.86	1976527.76
R	658228.46	1976534.53

GRID FACTOR = 0.999687220

LINE TABLE

L1	S90°00'00"E	25.27
L2	N00°23'36"W	40.69
L3	N89°59'42"E	12.14
L4	N89°59'42"E	12.33
L5	S89°59'42"W	12.52
L6	N00°30'00"W	19.89
L7	S90°00'00"W	29.77
L8	N00°04'25"W	30.95

CENTERLINE MONUMENT TABLE

MON.	NORTHING	EASTING
M1	657823.02	1975890.84
M2	657843.16	1976128.59
M3	657843.16	1976493.45
M4	657843.16	1976713.64
M5	658099.12	1976712.08

GRID FACTOR = 0.999687220

⚠ CENTERLINE MONUMENT

20' MAPLETON IRRIGATION DISTRICT AND COMPANY EASEMENT • 1

A 20 FOOT WIDE IRRIGATION EASEMENT, 10 FEET EITHER SIDE OF DESCRIBED CENTERLINE.

BEGINNING AT A POINT WHICH IS EAST 186.69 FEET AND SOUTH 1818.54 FEET FROM THE NORTH QUARTER CORNER OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 3 EAST SALT LAKE BASE AND MERIDIAN; THENCE S 87°33'56" E 212.44 FEET; THENCE S 89°03'00" E 325.94 FEET; THENCE S 88°31'47" E 297.86 FEET; THENCE S 89°53'34" E 10.70 FEET.

20' MAPLETON IRRIGATION DISTRICT AND COMPANY EASEMENT • 2

A 20 FOOT WIDE IRRIGATION EASEMENT, 10 FEET EITHER SIDE OF DESCRIBED CENTERLINE.

BEGINNING AT A POINT WHICH IS SOUTH 2420.89 FEET AND EAST 499.10 FEET FROM THE NORTH QUARTER CORNER OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 3 EAST SALT LAKE BASE AND MERIDIAN; THENCE S 89°25'59" E 515.12 FEET; THENCE S 56°55'02" E 43.56 FEET.

20' MAPLETON IRRIGATION DISTRICT AND COMPANY EASEMENT • 3

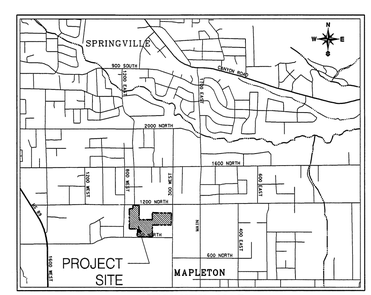
A 20 FOOT WIDE IRRIGATION EASEMENT, 10 FEET EITHER SIDE OF DESCRIBED CENTERLINE.

BEGINNING AT A POINT WHICH IS SOUTH 2477.22 FEET AND EAST 1015.53 FEET FROM THE NORTH QUARTER CORNER OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 3 EAST SALT LAKE BASE AND MERIDIAN; THENCE N 1°29'40" W 51.26 FEET; THENCE N 0°41'23" E 386.41 FEET; THENCE N 1°04'35" E 199.03 FEET; THENCE S 89°52'39" E 10.71 FEET; THENCE N 1°30'04" E 229.56 FEET.

20' MAPLETON IRRIGATION DISTRICT AND COMPANY EASEMENT • 4

A 20 FOOT WIDE IRRIGATION EASEMENT, 10 FEET EITHER SIDE OF DESCRIBED CENTERLINE.

BEGINNING AT A POINT WHICH IS SOUTH 2140.18 FEET AND WEST 985.15 FEET FROM THE NORTH EAST CORNER OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 3 EAST SALT LAKE BASE AND MERIDIAN; THENCE N 02°07'04" W 83.62 FEET; THENCE N 01°48'41" W 147.05 FEET.



VICINITY MAP

QUESTAR APPROVAL

QUESTAR APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT QUESTAR'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-3532

APPROVED THIS _____ DAY OF _____ A.D. 20 _____
BY QUESTAR.

BY - _____

TITILE - _____

UTILITIES SHALL HAVE THE RIGHT TO INSTALL, MAINTAIN AND OPERATE THEIR EQUIPMENT ABOVE AND BELOW GROUND AND ALL OTHER RELATED FACILITIES WITHIN THE PUBLIC UTILITY EASEMENTS IDENTIFIED ON THIS PLAT MAP AS MAY BE NECESSARY OR DESIRABLE IN PROVIDING UTILITY SERVICES WITHIN AND WITHOUT THE LOTS IDENTIFIED HERIN, INCLUDING THE RIGHT OF ACCESS TO SUCH FACILITIES AND THE RIGHT TO REQUIRE REMOVAL OF ANY OBSTRUCTIONS INCLUDING STRUCTURES, TREES AND VEGETATION THAT MAY BE PLACED WITHIN THE PUE. THE UTILITY MAY REQUIRE THE LOTS OWNER TO REMOVE ALL STRUCTURES WITHIN THE PUE AT THE LOT OWNER'S EXPENSE. OR THE UTILITY MAY REMOVE SUCH STRUCTURES WITHIN THE PUE AT THE LOT OWNER'S EXPENSE. AT NO TIME MAY ANY PERMANENT STRUCTURES BE PLACED WITHIN THE PUE OR ANY OTHER OBSTRUCTION WHICH INTERFERES WITH THE USE OF THE PUE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE UTILITIES WITH FACILITIES IN THE PUE.

PUBLIC UTILITY APPROVALS	DATE
ROCKY MOUNTAIN POWER & LIGHT	
QWEST	
COMCAST CABLE	
MAPLETON IRRIGATION	

ACKNOWLEDGEMENT (CORPORATE)

STATE OF UTAH }
COUNTY OF UTAH } S.S.

ON THE _____ DAY OF _____, 20___, PERSONALLY APPEARED BEFORE ME, _____ AND _____, WHO BEING BY ME DULY SWORN DID SAY, EACH FOR HIMSELF, THAT HE, THE SAID_____ IS THE PRESIDENT AND HE THE SAID _____ IS THE SECRETARY OF_____ CORPORATION, AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS AND SAID _____ AND _____ EACH DULY ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME AND THAT THE SEAL AFFIXED IS THE SEAL OF SAID CORPORATION.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC
RESIDING AT: _____

SURVEYOR'S CERTIFICATE

I, BARRY ANDREASON, DO HEREBY CERTIFY THAT IAM A REGISTERED LAND SURVEYOR, AND THAT IHOLD CERTIFICATE NO. 166572 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. IFURTHER CERTIFY BY AUTHORITY OF THE OWNERS, IHAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

SURVEYOR (SEE SEAL BELOW) _____ DATE _____

BOUNDARY DESCRIPTION

BEGINNING AT A POINT IN THE WEST RIGHT OF WAY LINE OF 300 WEST STREET WHICH POINT IS SOUTH 89°42'38" WEST ALONG THE SECTION LINE 989.42 FEET AND SOUTH 1619.90 FEET FROM THE NORTHEAST CORNER OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 3 EAST, SALT LAKE BASE AND MERIDIAN: THENCE SOUTH 00°12'03" WEST ALONG SAID RIGHT OF WAY LINE 419.10 FEET: THENCE SOUTH 89°57'51" WEST ALONG A FENCE LINE 666.30 FEET: THENCE SOUTH 00°39'23" WEST ALONG A FENCE LINE 359.60 FEET: THENCE SOUTH 01°28'49" EAST ALONG A FENCE LINE 46.35 FEET TO THE NORTH RIGHT OF WAY LINE OF 800 NORTH STREET: THENCE NORTH 89°20'21" WEST ALONG SAID RIGHT OF WAY 517.06 FEET: THENCE NORTH 00°41'43" EAST ALONG A FENCE LINE 49.35 FEET: THENCE NORTH 00°43'50 WEST ALONG SAID FENCE 222.99 FEET TO A FENCE CORNER: THENCE NORTH 88°20'01" WEST ALONG A FENCE LINE 297.48 FEET TO A FENCE CORNER: THENCE NORTH 00°23'36" WEST ALONG A FENCE LINE 314.99 FEET: THENCE NORTH 00°30'00" WEST ALONG SAID FENCE 377.33 FEET: THENCE LEAVING SAID FENCE LINE NORTH 89°56'03" EAST ALONG ANOTHER FENCE LINE AND ITS LINE PROJECTED 142.87 FEET TO THE WEST RIGHT OF WAY LINE OF 700 WEST STREET: THENCE NORTH ALONG SAID RIGHT OF WAY LINE AND ITS LINE EXTENDED 127.80 FEET: THENCE SOUTH 89°30'54" EAST 217.84 FEET: THENCE SOUTH 00 °30'38" EAST 494.24 FEET TO A FENCE LINE: THENCE SOUTH 88°45'43" EAST PARTIALLY ALONG SAID FENCE 465.69 FEET TO A POINT ON ANOTHER FENCE LINE: THENCE NORTH 01°44'57" EAST ALONG SAID FENCE 221.78 FEET TO A FENCE CORNER: THENCE NORTH 89°45'56" EAST ALONG A FENCE LINE 655.32 FEET TO THE POINT OF BEGINNING.

AREA = 19.507 ACRES 38 LOTS

OWNERS' DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS HEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____
DAY OF_____, A.D. 20 ____

ACKNOWLEDGEMENT

STATE OF UTAH }
COUNTY OF UTAH } S.S.

ON THE _____ DAY OF _____, A.D. 20 ____ PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES _____

NOTARY PUBLIC (SEE SEAL BELOW)

ACCEPTANCE BY LEGISLATIVE BODY

MAPLETON CITY, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS_____ DAY OF _____, A.D. 20___

APPROVED_____ MAYOR

APPROVED _____ ENGINEER (SEE SEAL BELOW)

ATTEST_____ CLERK-RECORDER (SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF_____, A.D. 20 ____, BY THE _____ PLANNING COMMISSION

DIRECTOR-SECRETARY _____ CHAIRMAN, PLANNING COMMISSION

PLAT "A"

STONEBRIDGE ESTATES

A RESIDENTIAL SUBDIVISION

MAPLETON CITY _____ UTAH COUNTY, UTAH

SCALE: 1" = 100 FEET

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDER SEAL
REGISTERED LAND SURVEYOR NO.166572 BARRY ANDREASON State of Utah			

...\Sheet Files\Plat\Plat.dgn 7/9/2007 1:52:50 PM

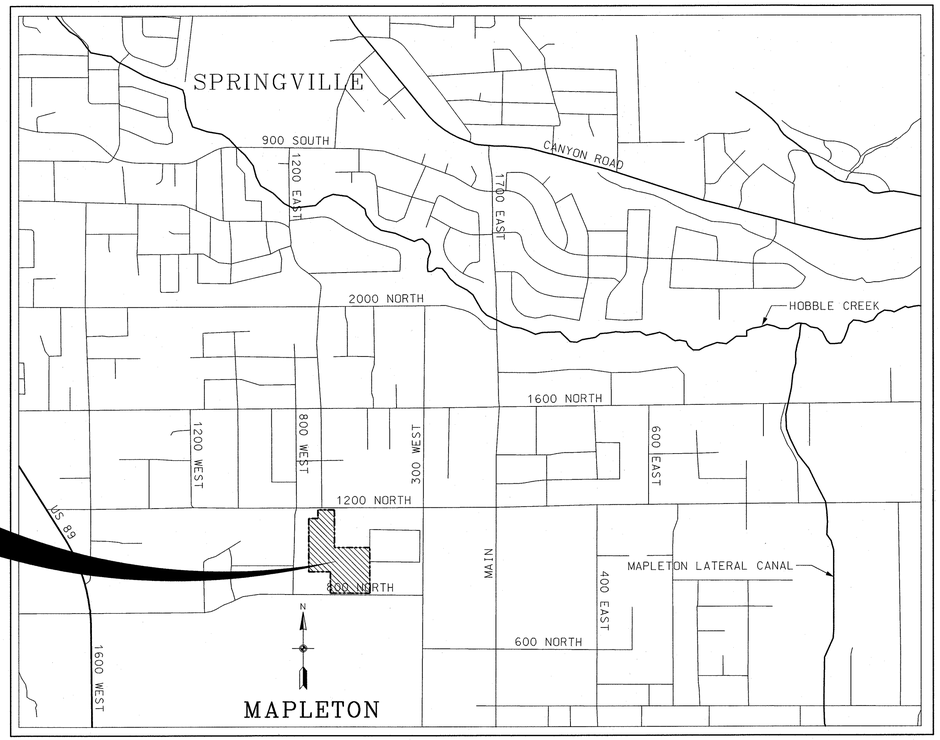
STONEBRIDGE SUBDIVISION

PLAT "A"

PRELIMINARY PLANS

MARCH 27, 2014

PROJECT LOCATION



VICINITY MAP

INDEX OF SHEETS

SHEET	DESCRIPTION
1.00	COVER
	PRELIMINARY PLAT
1.01	SITE GRADING PLAN
1.02	SITE UTILITY PLAN
1.03	IRRIGATION PIPING PLAN
3.00	675 WEST UTILITY PLAN & PROFILE
3.01	1000 NORTH UTILITY PLAN & PROFILE
3.02	1000 NORTH UTILITY PLAN & PROFILE
3.03	575 WEST UTILITY PLAN & PROFILE
3.04	700 WEST UTILITY PLAN & PROFILE
3.05	700 WEST UTILITY PLAN & PROFILE
3.06	1200 NORTH UTILITY PLAN & PROFILE
3.07	800 NORTH UTILITY PLAN & PROFILE
4.00	IRRIGATION PIPE PLAN & PROFILE
4.01	IRRIGATION PIPE PLAN & PROFILE
4.02	IRRIGATION PIPE PLAN & PROFILE

MW BROWN ENGINEERING, INC
Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84097

REGISTERED PROFESSIONAL ENGINEER
No. 174774
MATT W. BROWN
STATE OF UTAH

No.	Date	By	REVISIONS Notes

Designed
Drawn D.B.
Checked
Date

Title: STONEBRIDGE SUBDIVISION
Location: MAPLETON CITY, UTAH
Drawing Name: COVER

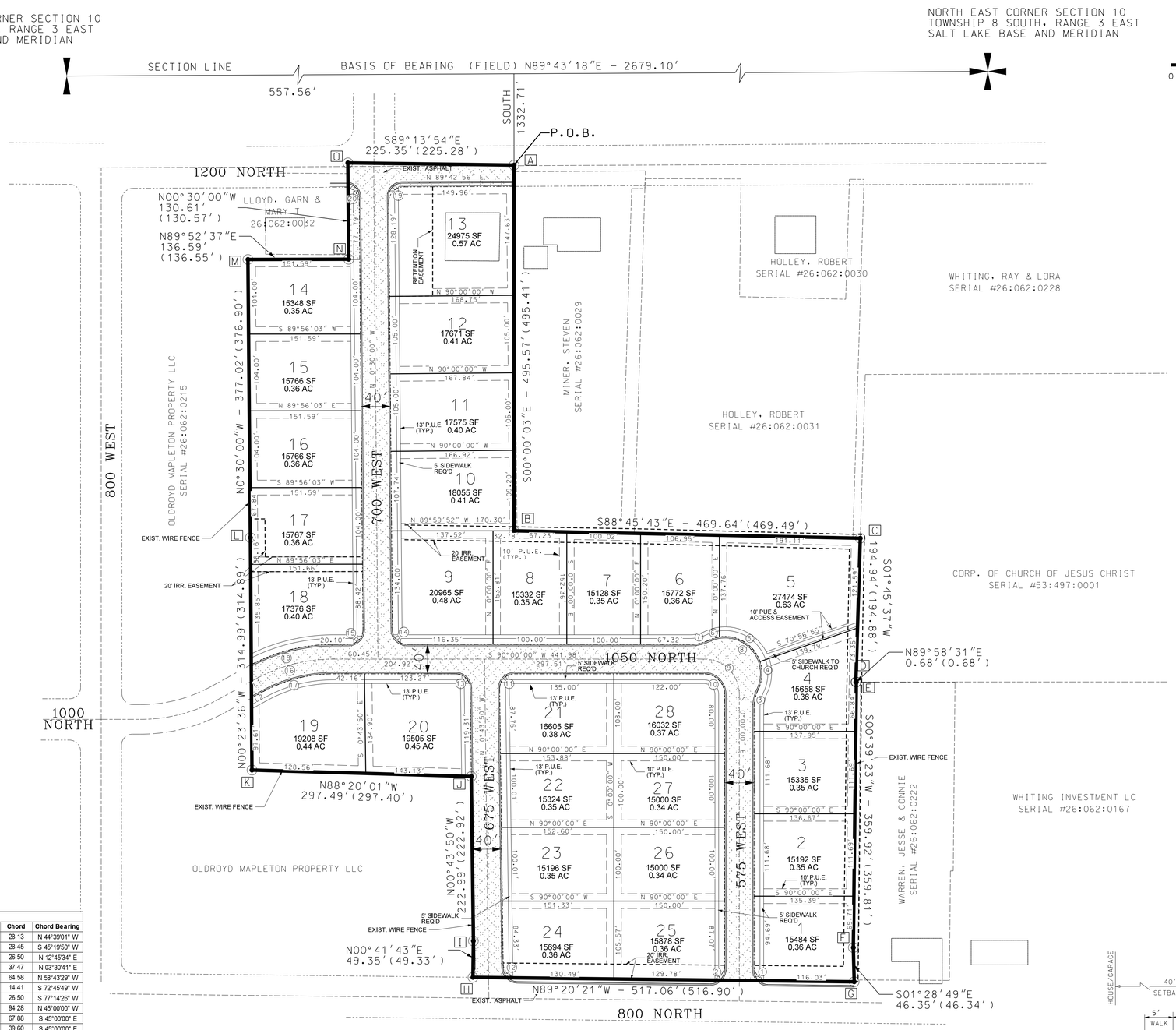
PROJECT NO. 2013.058

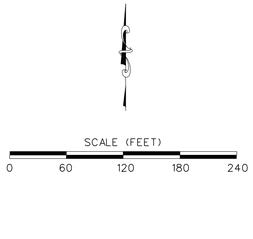
SHEET NO. 1.00

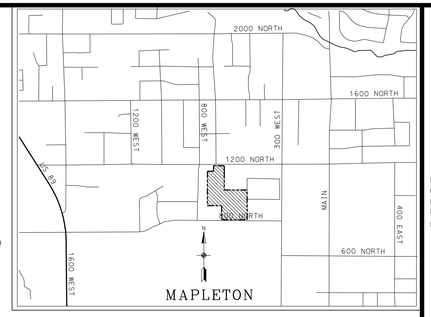
STONEBRIDGE SUBDIVISION PLAT "A"

PRELIMINARY PLAT

LOCATED WITHIN THE NORTH EAST CORNER
SECTION 10, TOWNSHIP 8 SOUTH, RANGE 3 EAST
SALT LAKE BASE AND MERIDIAN







VICINITY MAP

STATE PLANE COORDINATE TABLE		
A	1977294.72	658924.55
B	1977294.72	658428.83
C	1977764.40	658418.68
D	1977758.41	658223.76
E	1977759.09	658223.76
F	1977754.97	657863.75
G	1977756.17	657817.40
H	1977238.98	657823.37
I	1977239.58	657872.73
J	1977236.74	658095.77
K	1976939.28	658104.42
L	1976937.11	658419.50
M	1976933.82	658796.63
N	1977039.69	658796.85
O	1977047.00	658927.87
GRID FACTOR = 0.999687220		

LINE TABLE		
L1	N61°20'57"E	6.57'
L2	N61°20'57"E	17.32'

Curve Table						
Name	Radius	Length	Delta	Tangent	Chord	Chord Bearing
C1	20.00	31.20	89°22'39"	19.78	28.13	N 44°39'01" W
C2	20.00	31.65	90°39'39"	20.23	28.45	S 45°19'50" W
C3	60.00	26.72	25°31'08"	13.59	26.50	N 12°45'34" E
C4	50.00	38.41	44°00'54"	20.21	37.47	N 03°30'41" E
C5	50.00	70.21	80°27'27"	42.30	64.58	N 58°43'29" W
C6	50.00	14.46	16°33'56"	7.28	14.41	S 72°45'49" W
C7	60.00	26.72	25°31'08"	13.59	26.50	S 77°14'26" W
C8	50.00	123.08	141°02'17"	141.34	94.28	N 45°00'00" W
C9	48.00	75.40	90°00'00"	48.00	67.88	S 45°00'00" E
C10	28.00	43.98	90°00'00"	28.00	39.60	S 45°00'00" E
C11	20.00	31.67	90°43'50"	20.26	28.46	N 44°38'05" E
C12	20.00	30.93	88°36'31"	19.52	27.94	N 45°02'06" W
C13	20.00	31.16	89°16'10"	19.75	28.10	S 45°21'55" E
C14	20.00	31.24	89°30'00"	19.83	28.16	N 45°15'00" E
C15	20.00	31.59	90°30'00"	20.18	28.41	S 44°45'00" W
C16	220.00	110.01	28°39'03"	56.18	108.87	N 75°40'28" E
C17	200.00	100.01	28°39'03"	51.07	98.97	N 75°40'28" E
C18	240.00	115.85	27°39'25"	59.08	114.73	S 76°10'17" W
C19	20.00	31.49	90°12'56"	20.08	28.34	N 44°36'28" E

BOUNDARY DESCRIPTION

Beginning at a point which is North 89°43'18" East along the Section line 557.56 feet and South 1332.71 feet from the North Quarter Corner Section 10, Township 8 South, Range 3 East, Salt Lake Base and Meridian; thence South 00°00'03" East along a fence line and its line extended 495.57 to the intersection with another fence line; thence South 88°45'43" East along a fence line 469.64 feet to another fence line and to a point on the Boundary Agreement line of Official Records as Entry No. 114787:2007; thence along said Boundary Agreement line and along a fence line the following two (2) courses: (1) South 01°45'37" West 194.94 feet; (2) North 89°58'31" East 0.68 feet; thence South 00°39'23" West along a fence line 359.92 feet; thence South 01°28'49" East along said fence line 46.35 feet; thence North 89°20'21" West 517.06 feet to a fence line and to a point on the Boundary Agreement line of Official Records as Entry No. 114347:2007; thence along said Boundary Agreement line and along said fence line the following four (4) courses: (1) North 00°41'43" East 49.35 feet; (2) North 00°43'50" West 222.99 feet; (3) North 88°20'01" West 297.49 feet; (4) North 00°23'36" West 314.99 feet; thence North 00°30'00" West along said fence line and along the Boundary Agreement line of Official Records as Entry No. 93051:2007 377.02 feet; thence along a fence line North 89°52'37" East 136.59 feet; thence North 00°30'00" West 130.61 feet; thence South 89°13'54" East along said fence and its line extended 225.35 feet to the point of beginning.

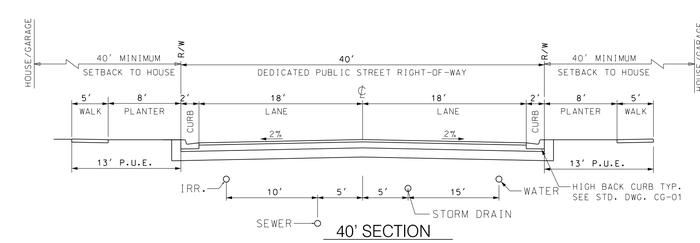
Area = 13.169 Acres

SURVEYOR'S CERTIFICATE

I, BARRY ANDREASON, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 166572 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON. I HEREBY STATE THAT THIS PROPERTY DESCRIPTION AND SURVEY ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION, BELIEF AND IN MY PROFESSIONAL OPINION.

BARRY ANDREASON — DATE

RIGHT OF WAY DEDICATED TO MAPLETON CITY



40' SECTION

MW BROWN ENGINEERING, INC
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578 East 770 North, Orem UT 84097

REGISTERED LAND SURVEYOR
NO.166572
BARRY ANDREASON
State of Utah

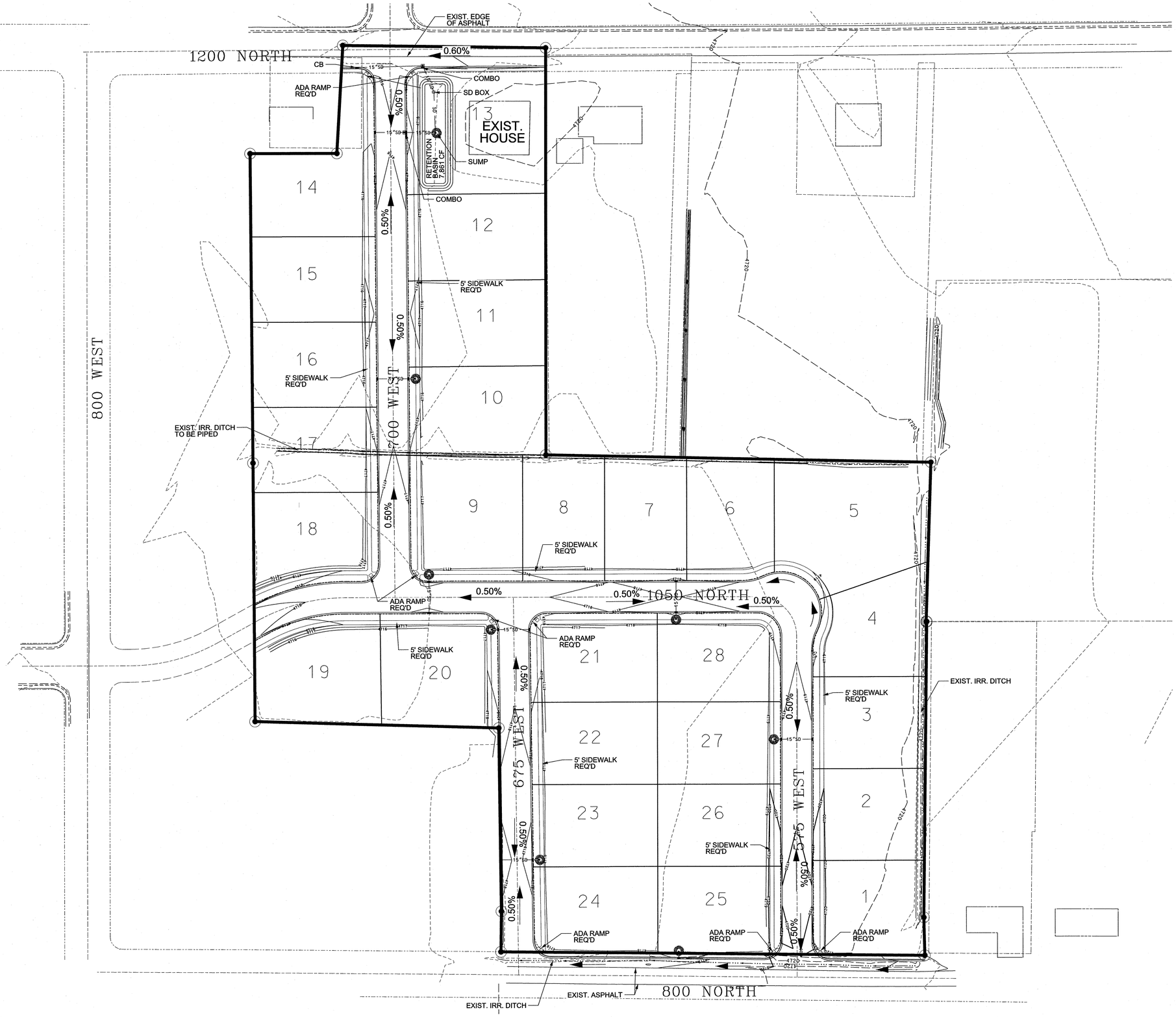
No.	Date	By	REVISIONS Notes

Designed
Drawn D.BUFFO
Checked
Date 3-24-14

Title: STONEBRIDGE SUBDIVISION PLAT "A"
Location: MAPLETON CITY, UTAH
Drawing Name: PRELIMINARY PLAT

PROJECT NO. 2013.058

SHEET NO. PRE PLAT



SCALE (FEET)

0 60 120 180 240

MW BROWN ENGINEERING, INC
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578 East 770 North, Orem UT 84097

REGISTERED PROFESSIONAL ENGINEER
NO. 174774
MATT W. BROWN
STATE OF UTAH

No.	Date	By	REVISIONS Notes

Designed
Drawn D.BUFFO
Checked
Date 3-24-14

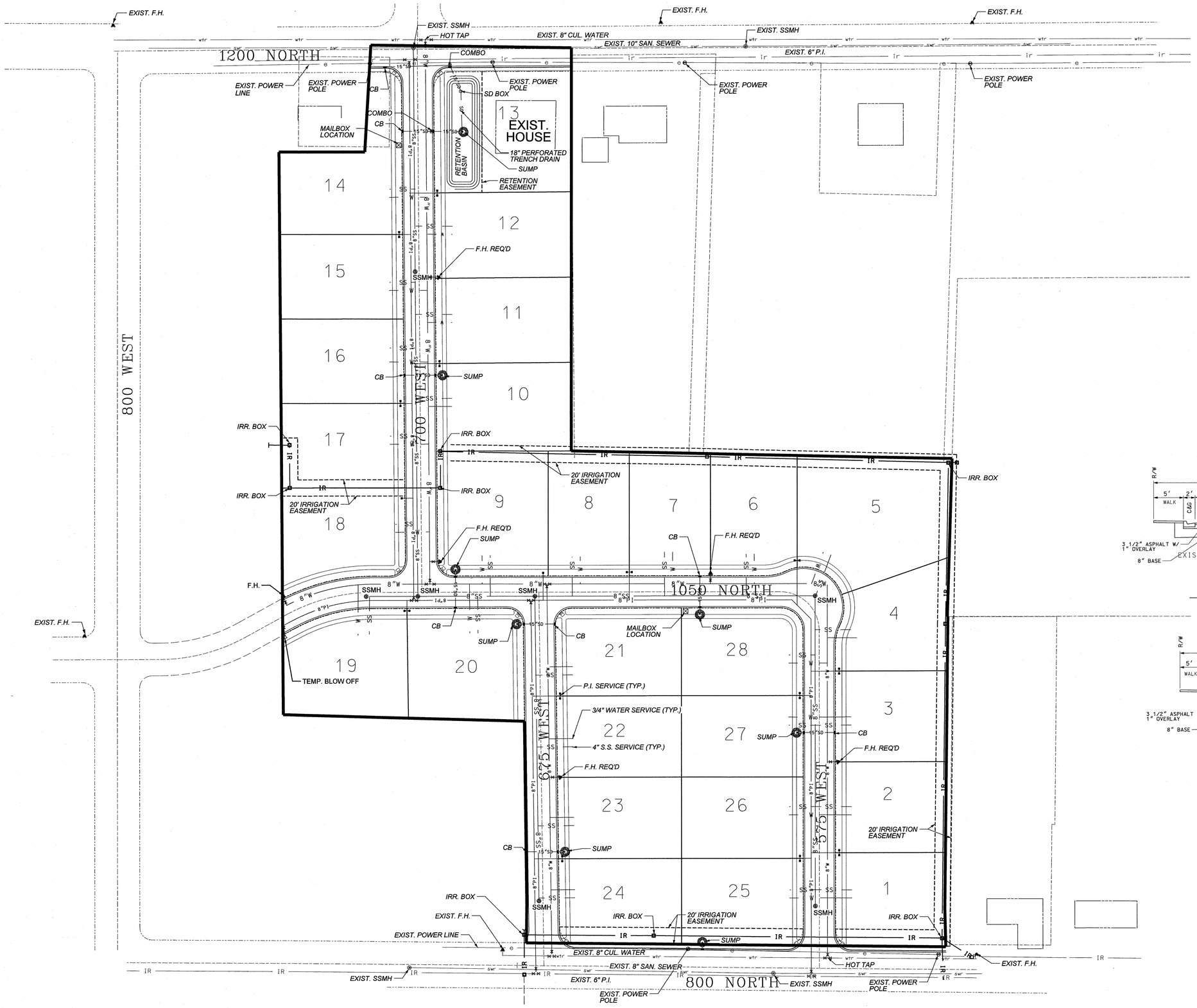
Title: STONEBRIDGE SUBDIVISION PLAT "A"

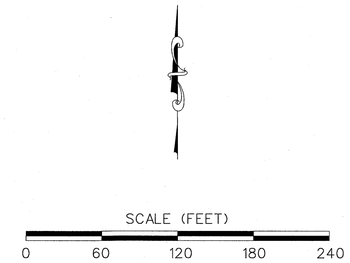
Location: MAPLETON CITY, UTAH

Drawing Name: PRELIMINARY SITE GRADING PLAN

PROJECT NO. 2013.058

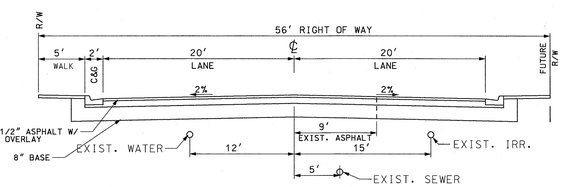
SHEET NO. 1.01



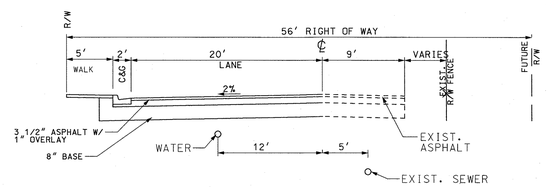


LEGEND

- EXISTING GAS LINE
- EXISTING BURIED ELECTRICAL
- EXISTING CULINARY WATER LINE
- NEW 8" SDR-21 CLASS 200 CULINARY WATER LINE
- EXISTING PRESSURIZED IRRIGATION LINE
- NEW 8" D.I. P.I.LINE
- EXISTING SANITARY SEWER
- NEW 8" SDR-35 SANITARY SEWER PIPE
- EXISTING STORM DRAIN PIPE
- NEW RCP STORM DRAIN PIPE
- NEW SAN. SEWER LATERAL
- NEW CULINARY WATER LATERAL
- NEW PRESSURE IRRIGATION LATERAL
- IRRIGATION BOX
- (SDMH) EXISTING STORM DRAIN MANHOLE
- (SDMH) NEW STORM DRAIN MANHOLE
- (LP) LIGHT POLE
- (LP) EXISTING LIGHT POLE
- (CB) NEW CATCH BASIN
- (COMBO) NEW COMBO BOX
- (WV) EXISTING WATER VALVE
- (WV) WATER VALVE
- (FH) EXISTING FIRE HYDRANT
- (FH) NEW FIRE HYDRANT
- (WM) WATER METER
- (SIGN) STREET SIGN
- (SSMH) EXIST. SEWER MANHOLE
- (SSMH) NEW SEWER MANHOLE



56' SECTION HALF WIDTH (1200 NORTH)



56' SECTION HALF WIDTH (800 NORTH)

MW BROWN ENGINEERING, INC
Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84097

REGISTERED PROFESSIONAL ENGINEER
NO. 174774
MATT W. BROWN
3/21/14
STATE OF UTAH

No.	Date	By	REVISIONS	Notes

Designed
Drawn D.BUFFO
Checked
Date 3-24-14

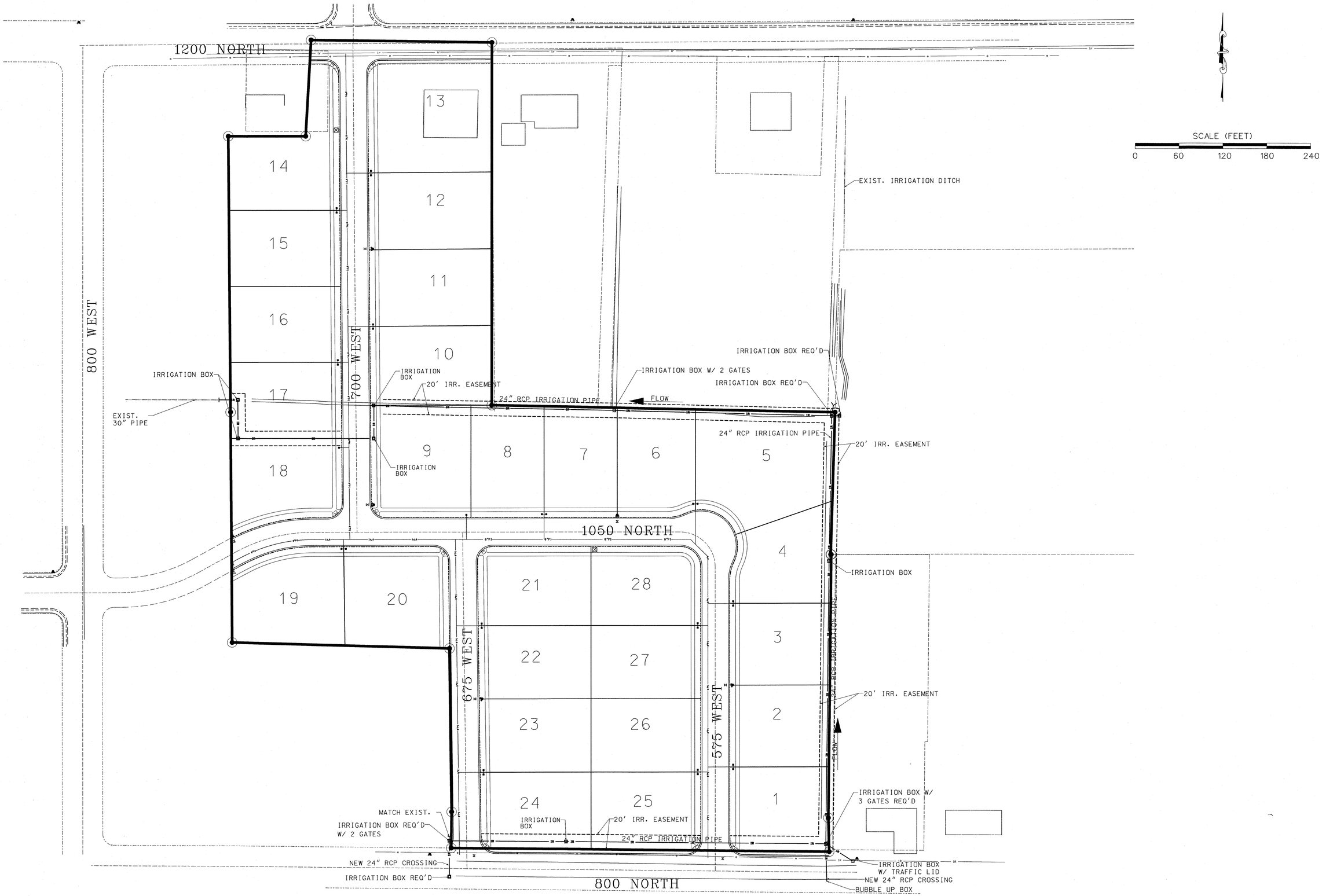
Title: STONEBRIDGE SUBDIVISION PLAT "A"

Location: MAPLETON CITY, UTAH

Drawing Name: PRELIMINARY SITE UTILITY PLAN

PROJECT NO. 2013.058

SHEET NO. 1.02



MW BROWN ENGINEERING, INC
Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84097

REGISTERED LAND SURVEYOR
NO.166572
BARRY ANDREASON
State of Utah

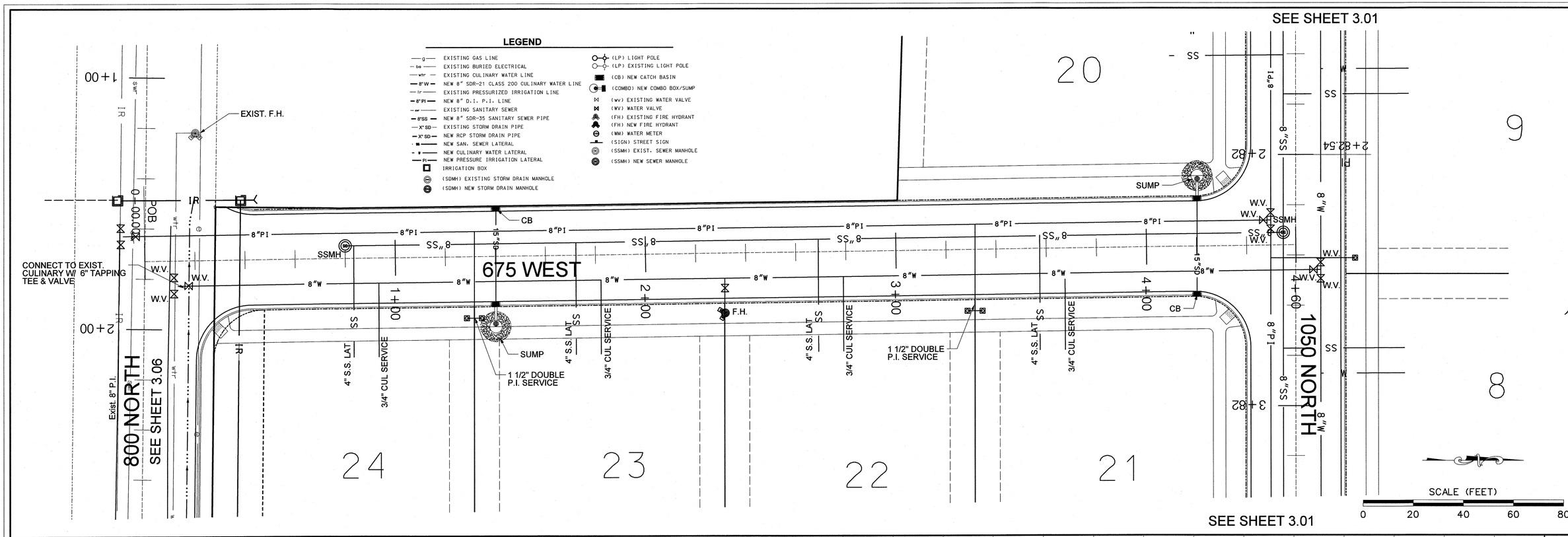
No.	Date	By	REVISIONS Notes

Designed
Drawn D.BUFFO
Checked
Date 3-24-14

Title: STONEBRIDGE SUBDIVISION PLAT "A"
Location: MAPLETON CITY, UTAH
Drawing Name: IRRIGATION PLAN

PROJECT NO. 2013.058

SHEET NO. 1.03



MW BROWN ENGINEERING, INC
Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84058

REGISTERED PROFESSIONAL ENGINEER
NO. 174774
MATT W. BROWN
STATE OF UTAH

No.	Date	By	REVISIONS	Notes

Designed
Drawn D. BUFFO
Checked
Date 3-24-14

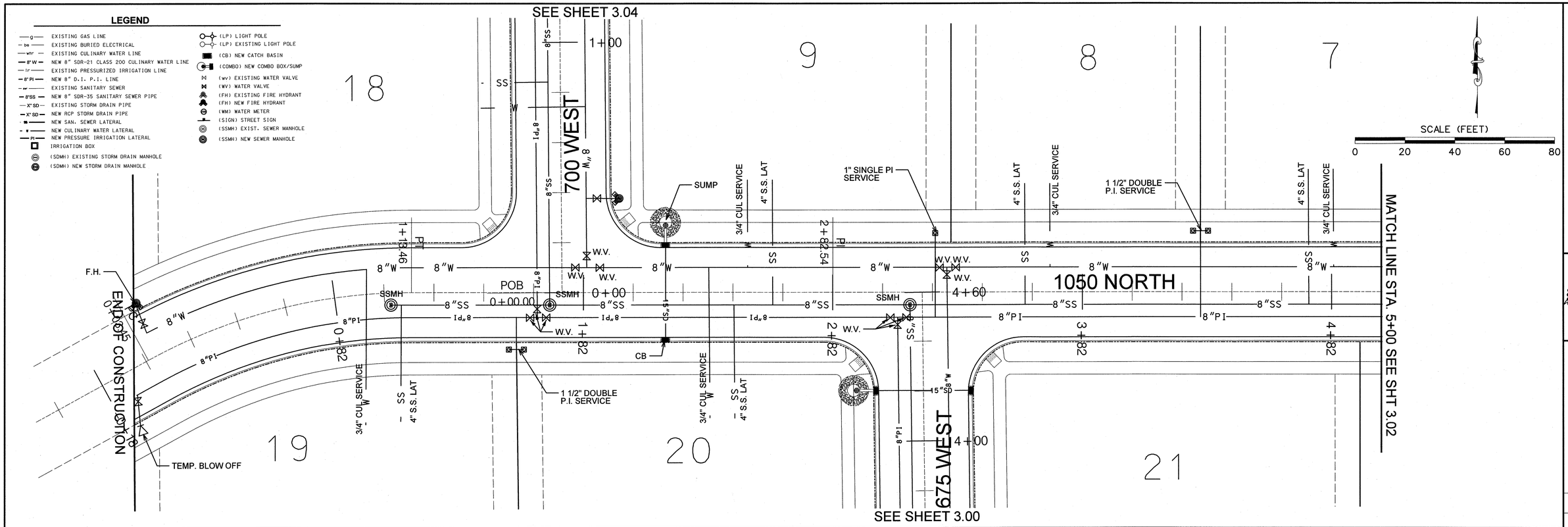
Title: STONEBRIDGE SUBDIVISION "PLAT A"
Location: MAPLETON CITY, UTAH
Drawing Name: 675 WEST UTILITY PLAN & PROFILE

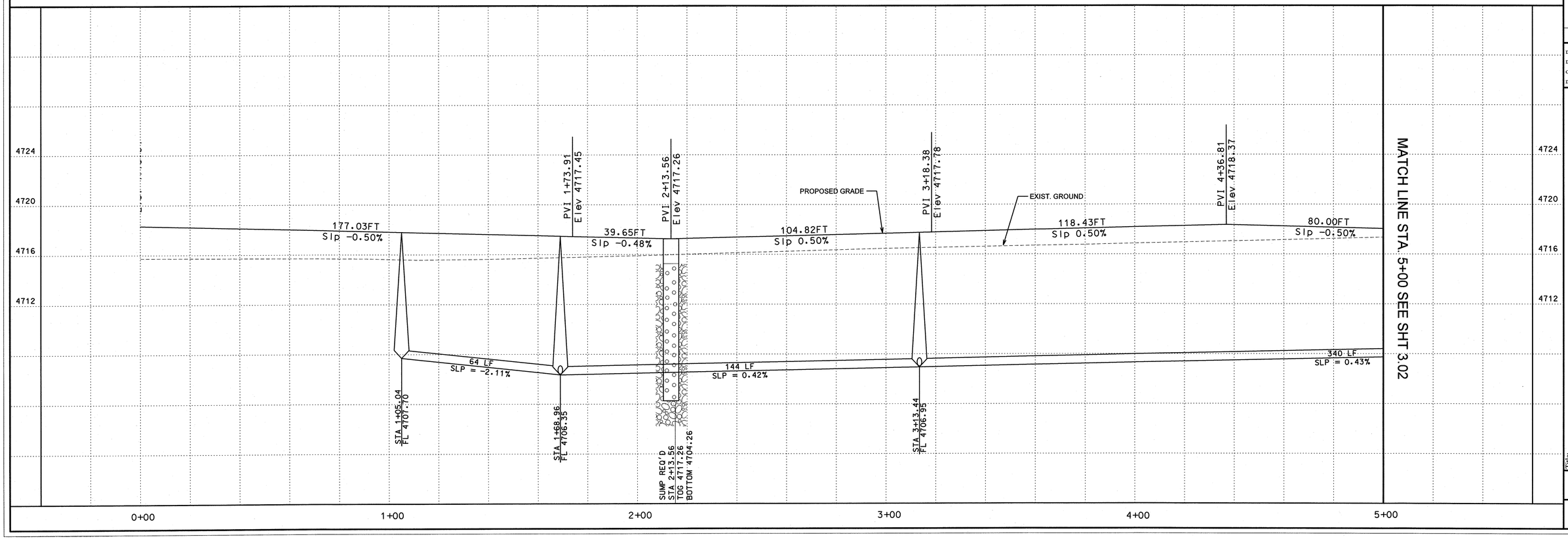
PROJECT NO. 2013.058

SHEET NO. 3.00

LEGEND

- EXISTING GAS LINE
- EXISTING BURIED ELECTRICAL
- EXISTING CULINARY WATER LINE
- NEW 8" SDR-21 CLASS 200 CULINARY WATER LINE
- EXISTING PRESSURIZED IRRIGATION LINE
- NEW 8" D.I. P.I. LINE
- EXISTING SANITARY SEWER
- NEW 8" SDR-35 SANITARY SEWER PIPE
- X" SD — EXISTING STORM DRAIN PIPE
- X" SD — NEW RCP STORM DRAIN PIPE
- NEW SAN. SEWER LATERAL
- NEW CULINARY WATER LATERAL
- PI — NEW PRESSURE IRRIGATION LATERAL
- IRRIGATION BOX
- (SDMH) EXISTING STORM DRAIN MANHOLE
- (SDMH) NEW STORM DRAIN MANHOLE
- (LP) LIGHT POLE
- (LP) EXISTING LIGHT POLE
- (CB) NEW CATCH BASIN
- (COMBO) NEW COMBO BOX/SUMP
- (wv) EXISTING WATER VALVE
- (WV) WATER VALVE
- (FH) EXISTING FIRE HYDRANT
- (FH) NEW FIRE HYDRANT
- (WM) WATER METER
- (SIGN) STREET SIGN
- (SSMH) EXIST. SEWER MANHOLE
- (SSMH) NEW SEWER MANHOLE





MW BROWN ENGINEERING, INC
Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84058

REGISTERED PROFESSIONAL ENGINEER
NO. 174774
MATT W. BROWN
STATE OF UTAH

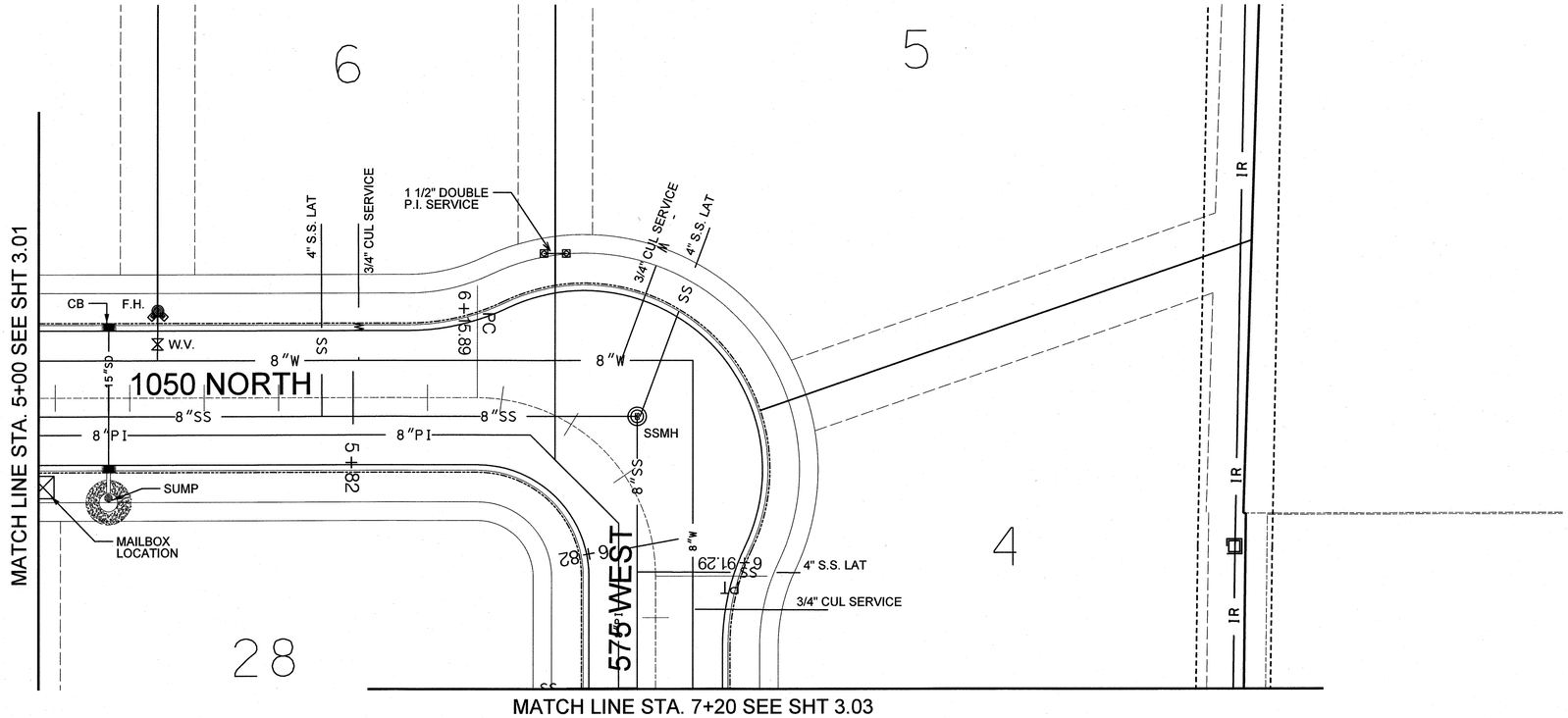
No.	Date	By:	REVISIONS	Notes

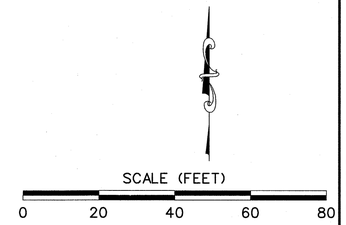
Designed
Drawn D. BUFFO
Checked
Date 3-24-14

Title: STONEBRIDGE SUBDIVISION PLAT "A"
Location: MAPLETON CITY, UTAH
Drawing Name: 1050 NORTH UTILITY PLAN & PROFILE

PROJECT NO. 2013.058

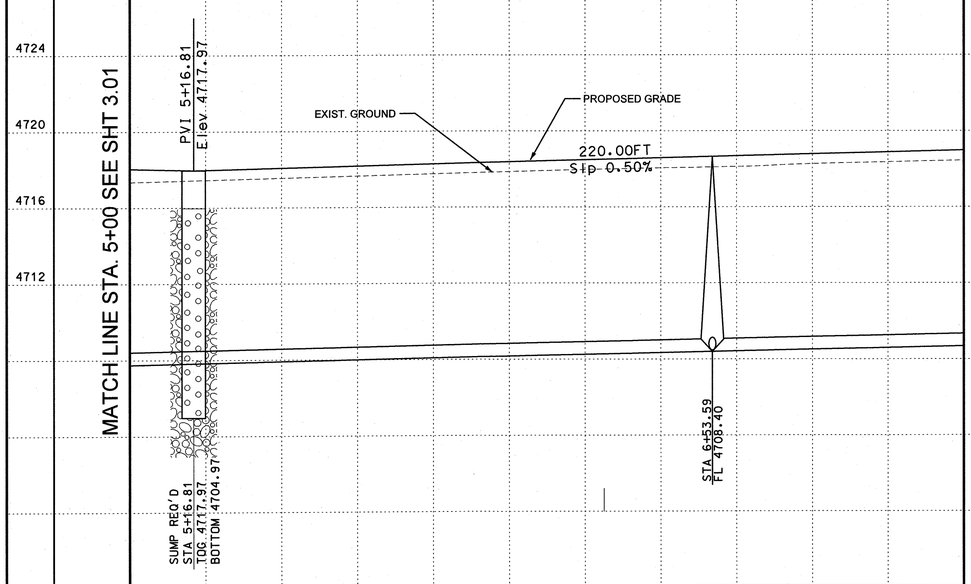
SHEET NO. 3.01





LEGEND

- EXISTING GAS LINE
- EXISTING BURIED ELECTRICAL
- EXISTING CULINARY WATER LINE
- NEW 8" SDR-21 CLASS 200 CULINARY WATER LINE
- EXISTING PRESSURIZED IRRIGATION LINE
- NEW 8" D.I. P.I. LINE
- EXISTING SANITARY SEWER
- NEW 8" SDR-35 SANITARY SEWER PIPE
- EXISTING STORM DRAIN PIPE
- NEW RCP STORM DRAIN PIPE
- NEW SAN. SEWER LATERAL
- NEW CULINARY WATER LATERAL
- NEW PRESSURE IRRIGATION LATERAL
- IRRIGATION BOX
- (SDMH) EXISTING STORM DRAIN MANHOLE
- (SDMH) NEW STORM DRAIN MANHOLE
- (LP) LIGHT POLE
- (LP) EXISTING LIGHT POLE
- (CB) NEW CATCH BASIN
- (COMBO) NEW COMBO BOX/SUMP
- (wv) EXISTING WATER VALVE
- (WV) WATER VALVE
- (FH) EXISTING FIRE HYDRANT
- (FH) NEW FIRE HYDRANT
- (WM) WATER METER
- (SIGN) STREET SIGN
- (SSMH) EXIST. SEWER MANHOLE
- (SSMH) NEW SEWER MANHOLE



MW BROWN ENGINEERING, INC
Office: (801) 377-1790 Fax: (801) 377-1789
578 East 770 North, Orem UT 84058

REGISTERED PROFESSIONAL ENGINEER NO. 174774 MATT W. BROWN STATE OF UTAH

No.	Date	By	REVISIONS Notes

Designed
Drawn D. BUFFO
Checked
Date 3-24-14

Title: STONEBRIDGE SUBDIVISION PLAT "A"
Location: MAPLETON CITY, UTAH
Drawing Name: 1050 NORTH ROAD PLAN & PROFILE

PROJECT NO. 2013.058

SHEET NO. 3.02

LEGEND

- EXISTING GAS LINE
- EXISTING BURIED ELECTRICAL
- EXISTING CULINARY WATER LINE
- NEW 8" SDR-21 CLASS 200 CULINARY WATER LINE
- EXISTING PRESSURIZED IRRIGATION LINE
- NEW 8" D.I. P.I. LINE
- EXISTING SANITARY SEWER
- NEW 8" SDR-35 SANITARY SEWER PIPE
- EXISTING STORM DRAIN PIPE
- NEW RCP STORM DRAIN PIPE
- NEW SAN. SEWER LATERAL
- NEW CULINARY WATER LATERAL
- NEW PRESSURE IRRIGATION LATERAL
- IRRIGATION BOX
- (SDMH) EXISTING STORM DRAIN MANHOLE
- (SDMH) NEW STORM DRAIN MANHOLE
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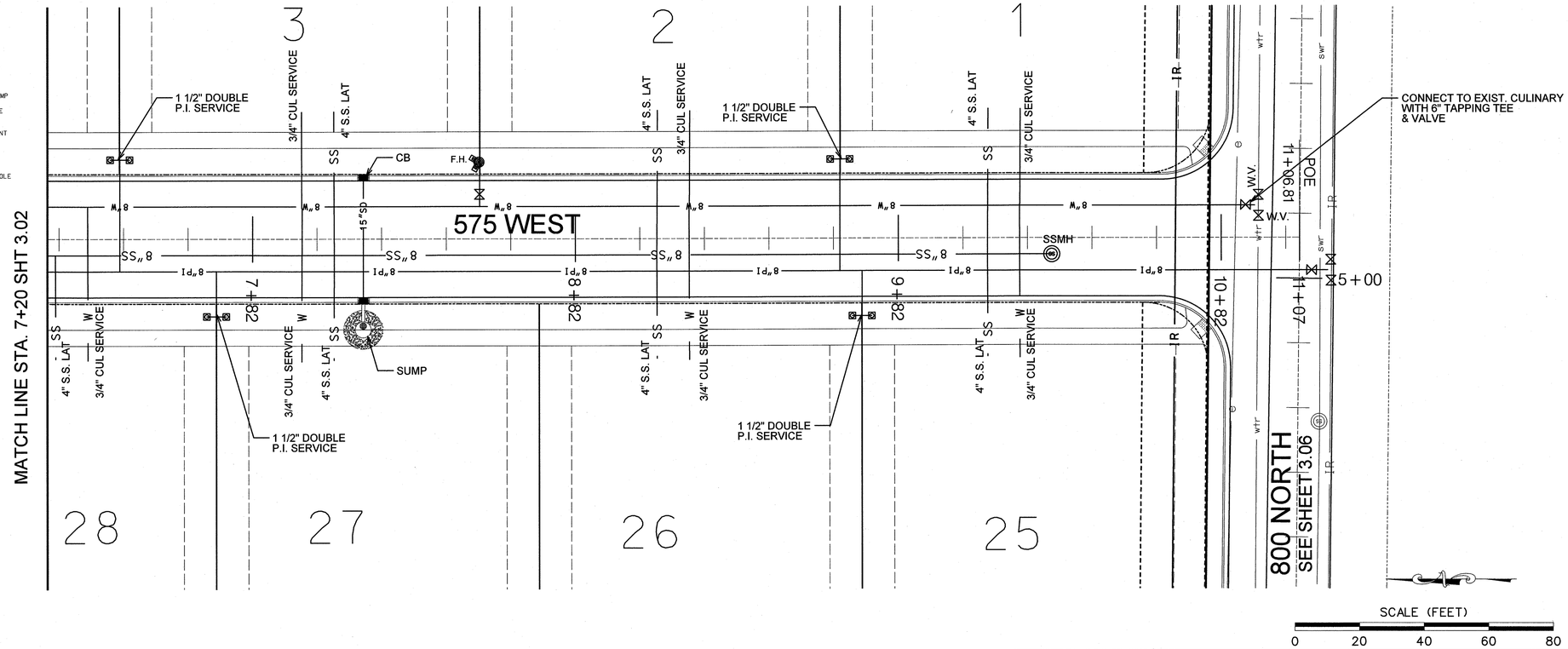
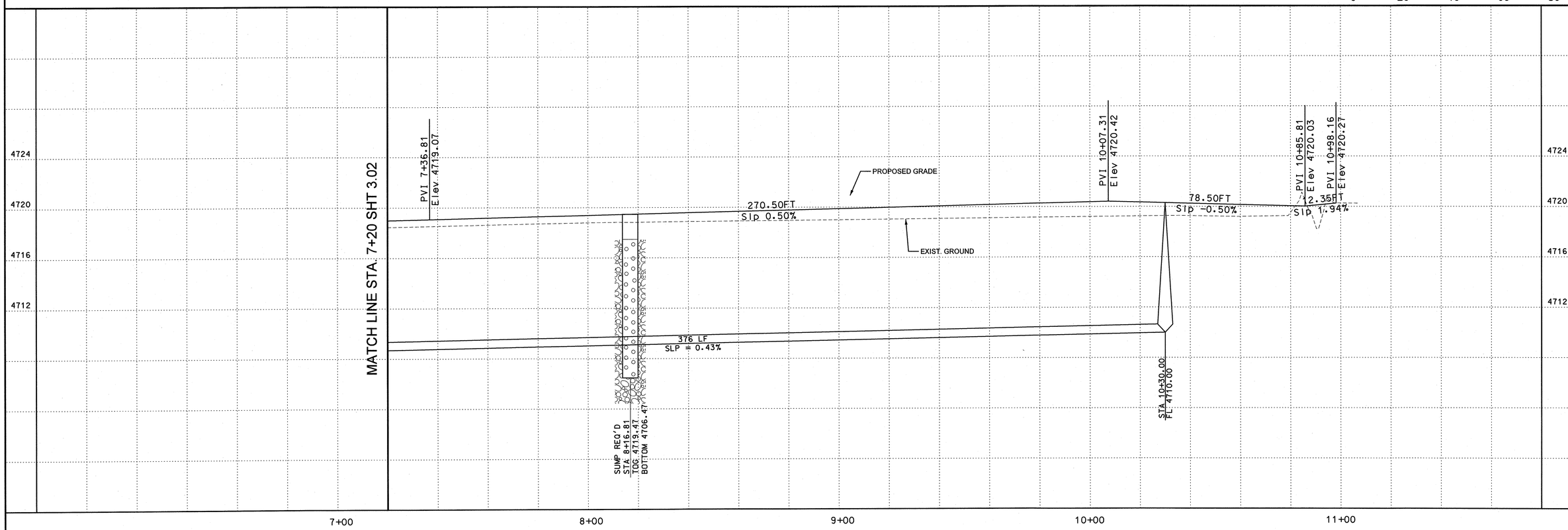
- (LP) EXISTING LIGHT POLE
- (CB) NEW CATCH BASIN
- (COMBO) NEW COMBO BOX/SUMP
- (WV) EXISTING WATER VALVE
- (WV) WATER VALVE
- (FH) EXISTING FIRE HYDRANT
- (FH) NEW FIRE HYDRANT
- (WM) WATER METER
- (SIGN) STREET SIGN
- (SSMH) EXIST. SEWER MANHOLE
- (SSMH) NEW SEWER MANHOLE





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REGISTERED PROFESSIONAL ENGINEER NO. 174774 MATT W. BROWN 3/24/14 STATE OF UTAH

No.	Date	By:	REVISIONS	Notes

Designed
Drawn D. BUFFO
Checked
Date 3-24-14

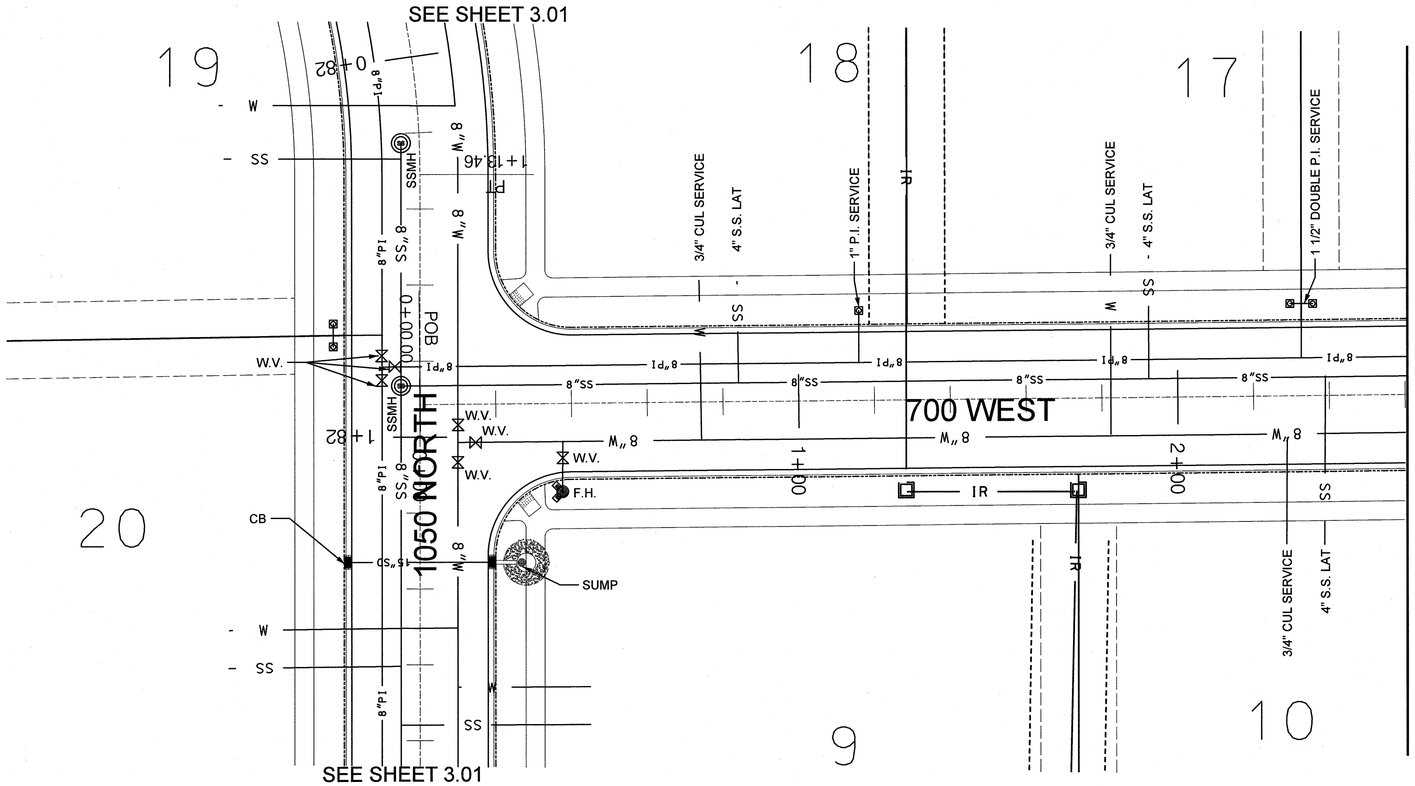
Title: STONEBRIDGE SUBDIVISION PLAT "A"

Location: MAPLETON CITY, UTAH

Drawing Name: 575 WEST UTILITY PLAN & PROFILE

PROJECT NO. 2013.058

SHEET NO. 3.03



LEGEND

- EXISTING GAS LINE
- EXISTING BURIED ELECTRICAL
- EXISTING CULINARY WATER LINE
- NEW 8" SDR-21 CLASS 200 CULINARY WATER LINE
- EXISTING PRESSURIZED IRRIGATION LINE
- NEW 8" D.I. P.I. LINE
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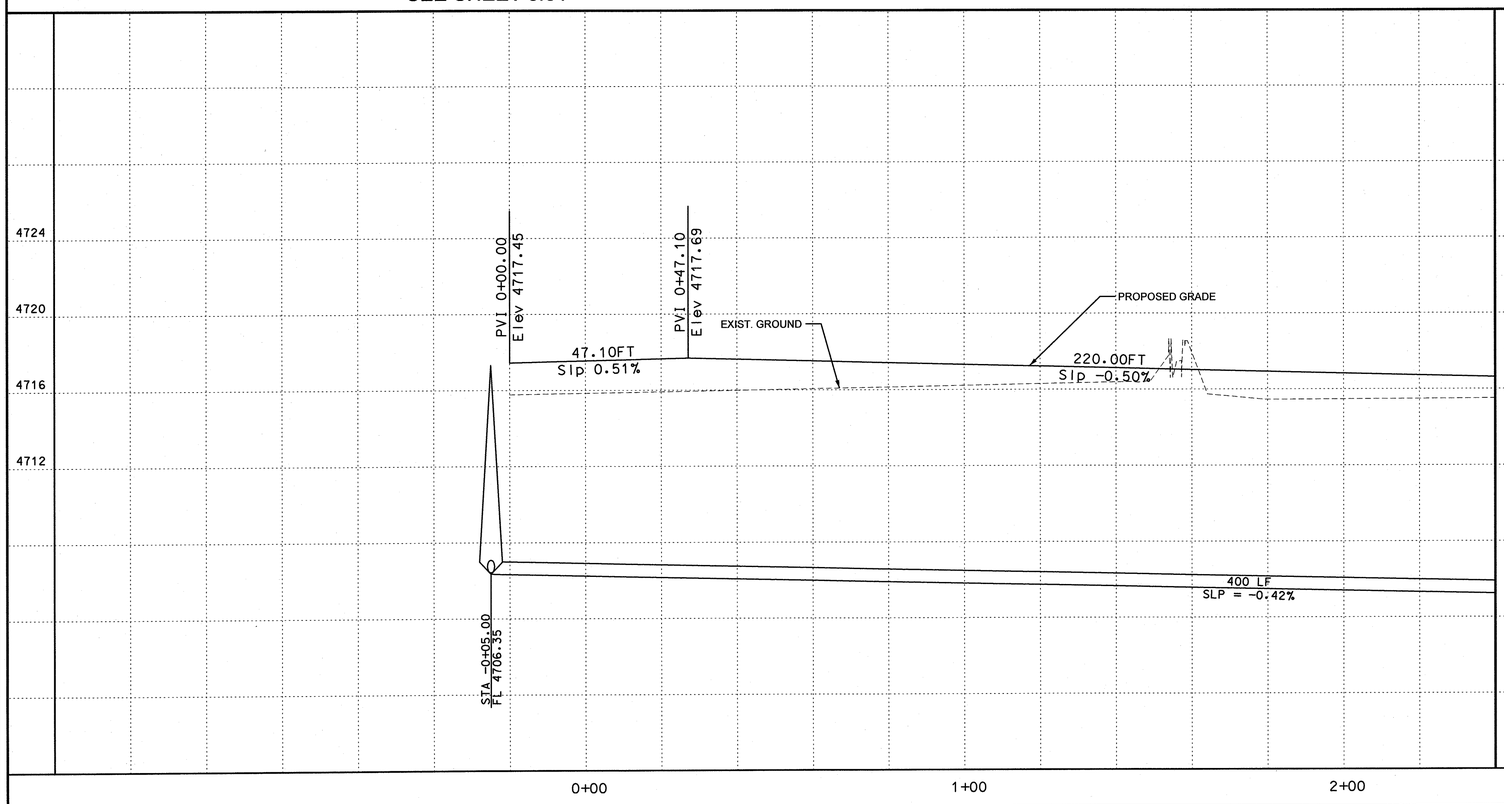
- NEW 8" SDR-35 SANITARY SEWER PIPE
- EXISTING STORM DRAIN PIPE
- NEW RCP STORM DRAIN PIPE
- NEW SAN. SEWER LATERAL
- NEW CULINARY WATER LATERAL
- NEW PRESSURE IRRIGATION LATERAL
- IRRIGATION BOX
- (SDMH) EXISTING STORM DRAIN MANHOLE
- (SDMH) NEW STORM DRAIN MANHOLE
- (LP) LIGHT POLE
- (LP) EXISTING LIGHT POLE
- (CB) NEW CATCH BASIN
- (COMBO) NEW COMBO BOX/SUMP
- (WV) EXISTING WATER VALVE
- (WV) WATER VALVE
- (FH) EXISTING FIRE HYDRANT
- (FH) NEW FIRE HYDRANT
- (WM) WATER METER
- (SIGN) STREET SIGN
- (SSMH) EXIST. SEWER MANHOLE
- (SSMH) NEW SEWER MANHOLE

SCALE (FEET)

0 20 40 60 80



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REGISTERED PROFESSIONAL ENGINEER
No. 174774
MATT W. BROWN
3/27/14
STATE OF UTAH

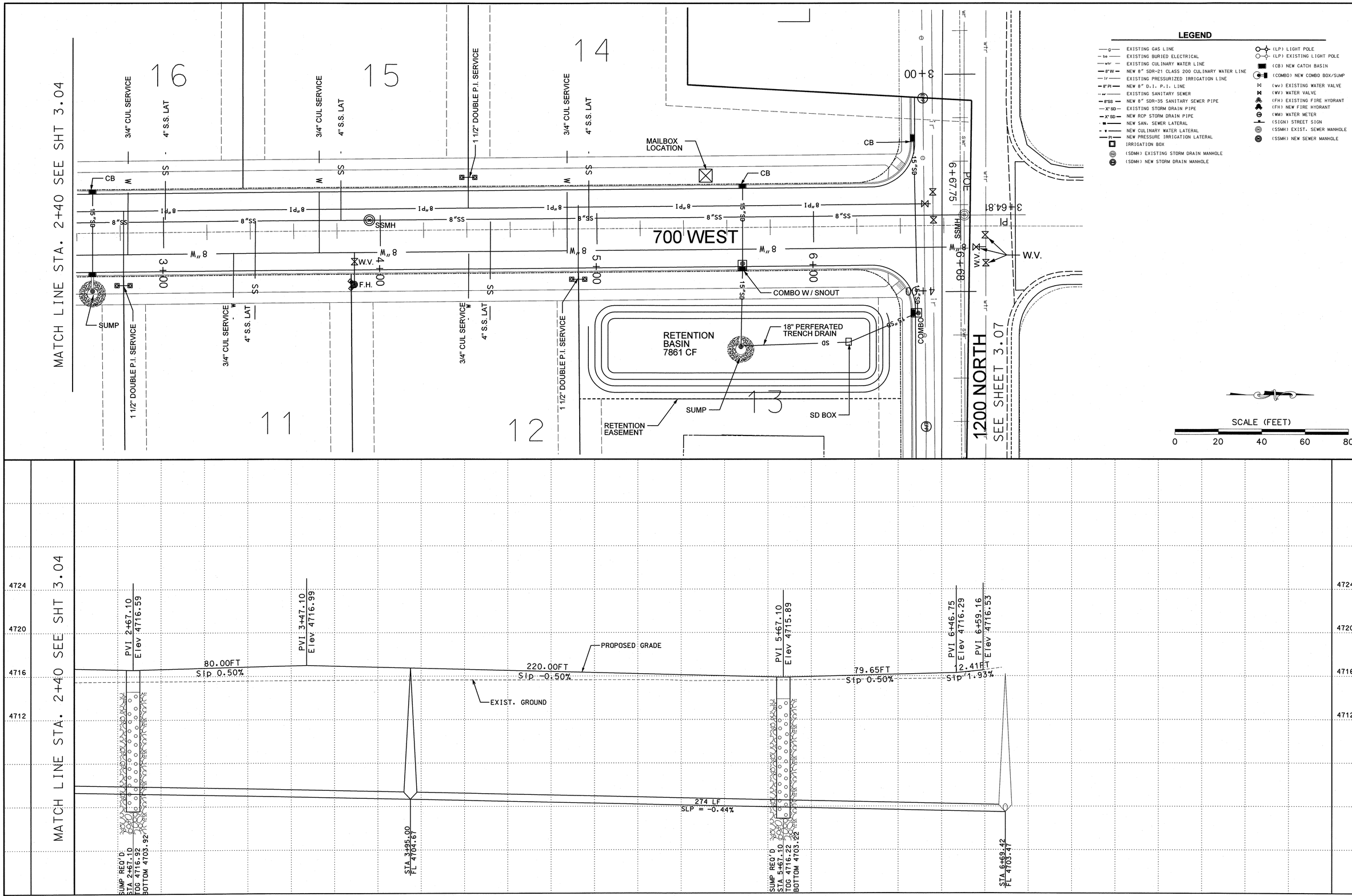
No.	Date	By	REVISIONS	Notes

Designed
Drawn D. BUFFO
Checked
Date 3-24-14

Title: STONEBRIDGE SUBDIVISION "PLAT A"
Location: MAPLETON CITY, UTAH
Drawing Name: 700 WEST UTILITY PLAN & PROFILE

PROJECT NO. 2013.058

SHEET NO. 3.04



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REGISTERED PROFESSIONAL ENGINEER
NO. 174774
MATT W. BROWN
STATE OF UTAH

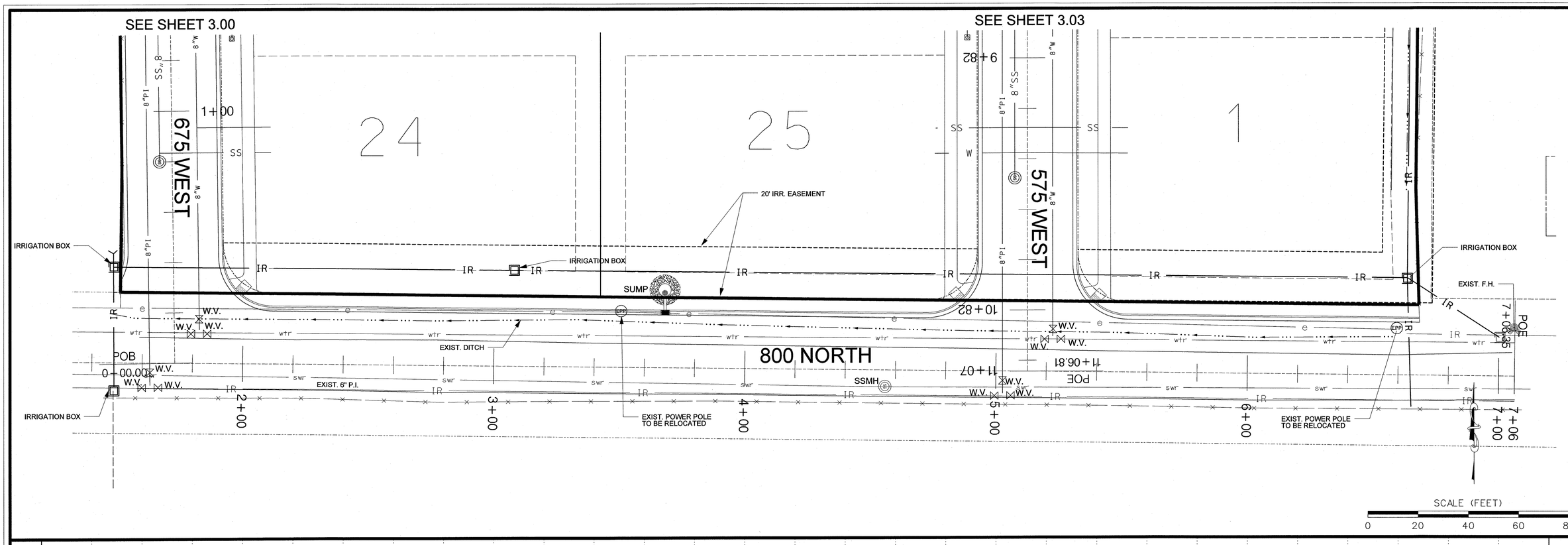
No.	Date	By	REVISIONS Notes

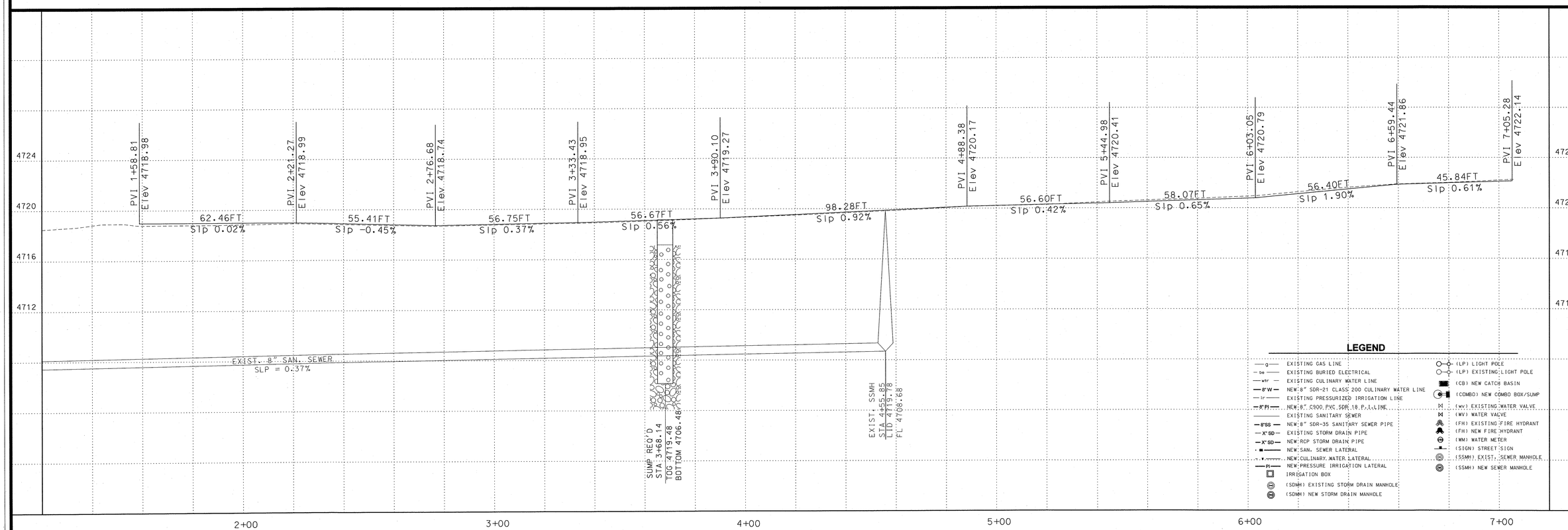
Designed
Drawn D. BUFFO
Checked
Date 3-24-14

Title: STONEBRIDGE SUBDIVISION "PLAT A"
Location: MAPLETON CITY, UTAH
Drawing Name: 700 WEST UTILITY PLAN & PROFILE

PROJECT NO. 2013.058

SHEET NO. 3.05





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No.	Date	By	REVISIONS	Notes

Designed
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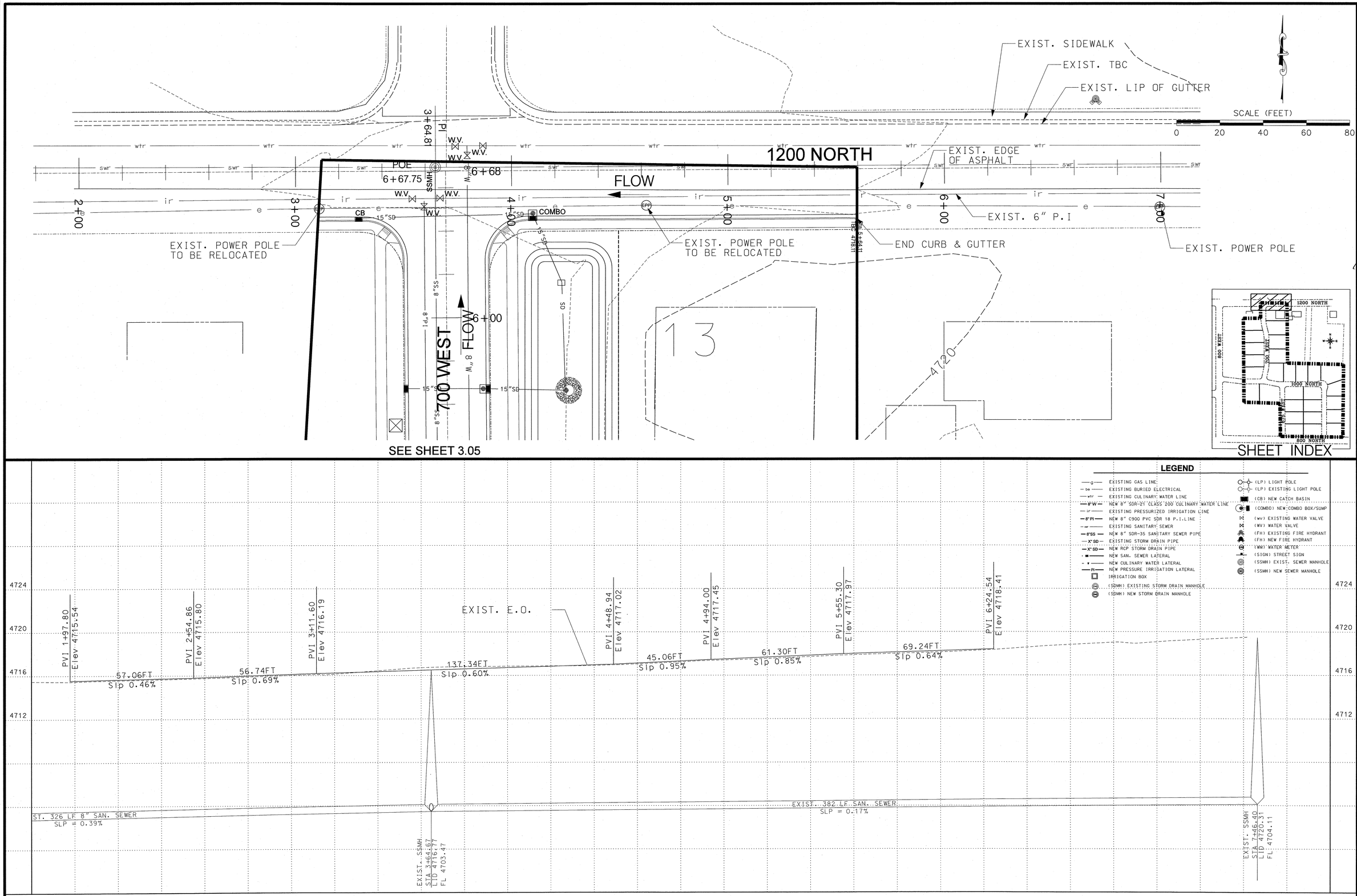
Checked
Date 3-24-14

Title: STONEBRIDGE SUBDIVISION PLAT "A"
Location: MAPLETON CITY, UTAH
Drawing Name: 800 NORTH UTILITY PLAN & PROFILE

PROJECT NO. 2013.058

SHEET NO. 3.06



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3/24/14
STATE OF UTAH

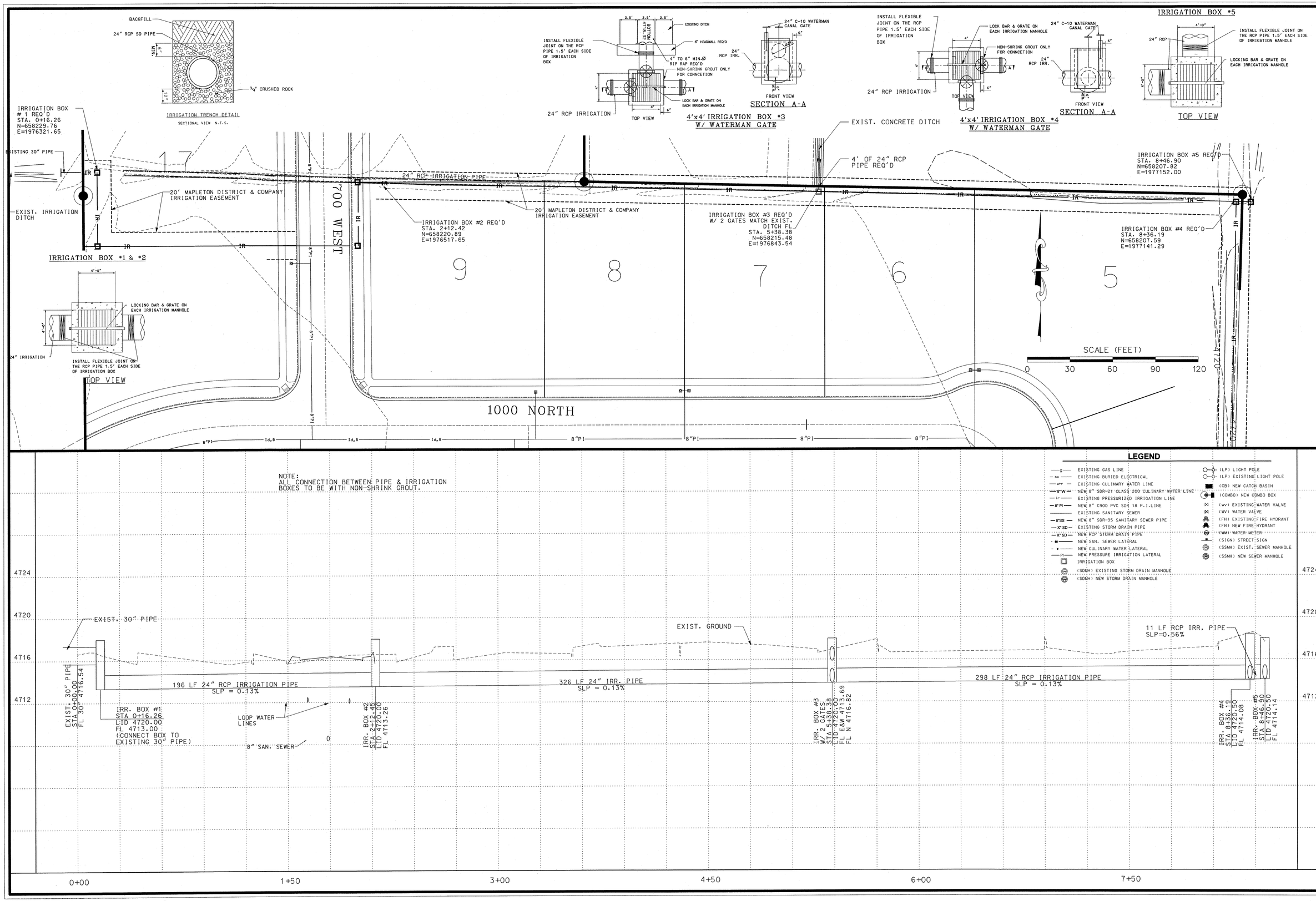
No.	Date	By	REVISIONS	Notes

Designed
Drawn D. BUFFO
Checked
Date 3-24-14

Title: STONEBRIDGE SUBDIVISION
Location: MAPLETON CITY, UTAH
Drawing Name: 1200 NORTH UTILITY PLAN & PROFILE

PROJECT NO. 2013.058

SHEET NO. 3.07



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REGISTERED PROFESSIONAL ENGINEER
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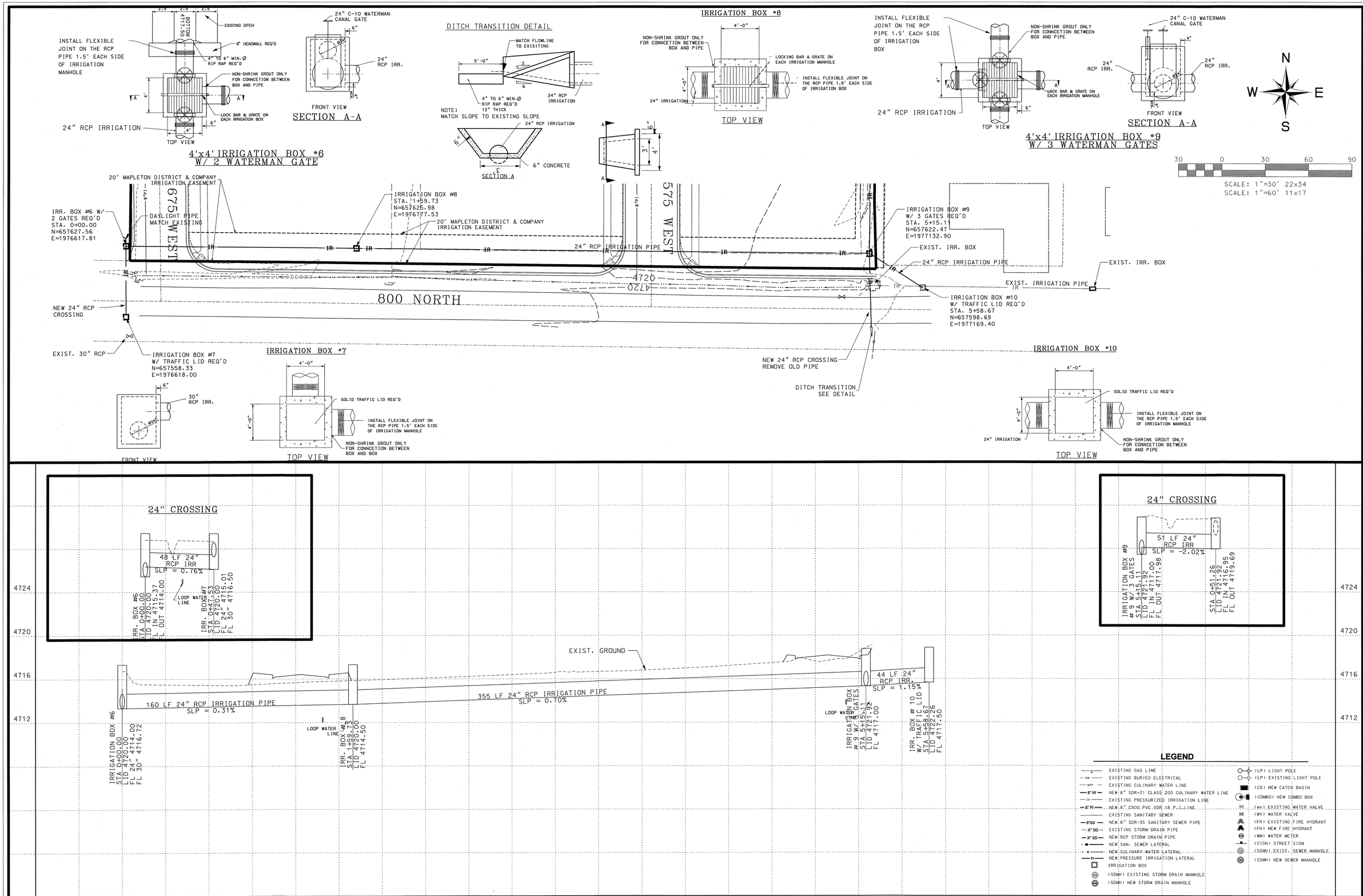
No.	Date	By:	REVISIONS	Notes

Designed
Drawn D. BUFFO
Checked
Date 3-24-14

Title: STONEBRIDGE SUBDIVISION PLAT "A"
Location: MAPLETON CITY, UTAH
Drawing Name: IRRIGATION PLAN & PROFILE

PROJECT NO. 2013.058

SHEET NO. 4.00



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No.	Date	By	REVISIONS Notes

Designed
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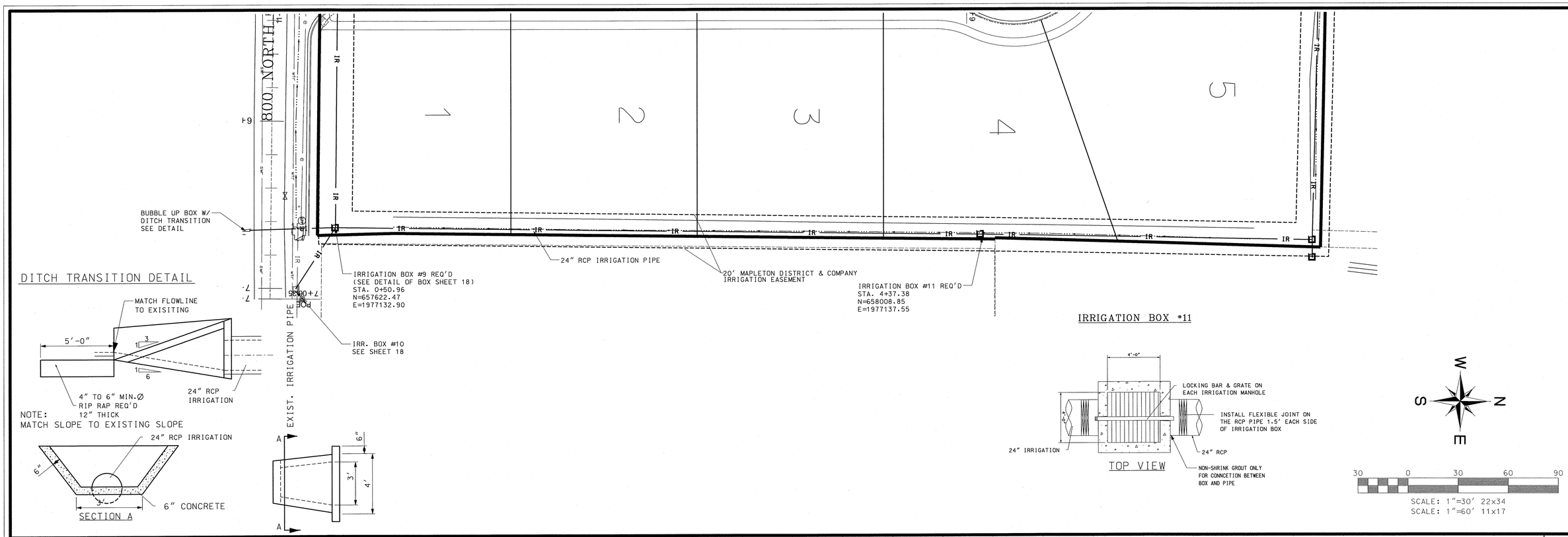
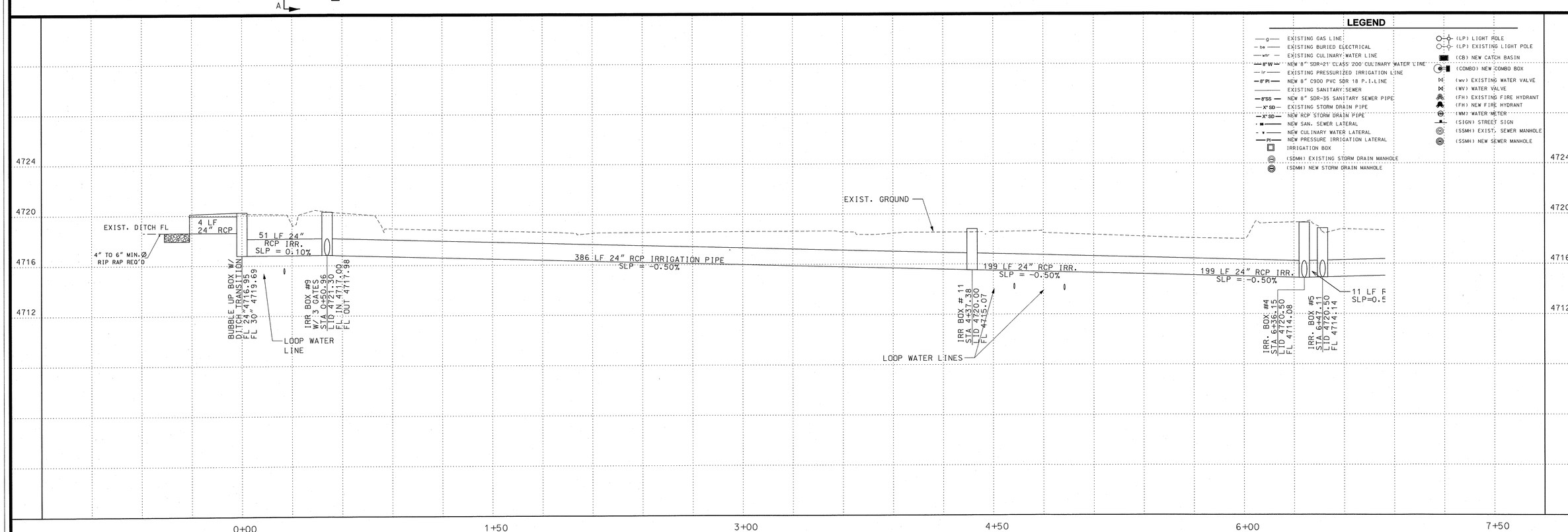
Checked
Date 3-24-14

Title: STONEBRIDGE SUBDIVISION PLAT "A"
Location: MAPLETON CITY, UTAH
Drawing Name: IRRIGATION PLAN & PROFILE

PROJECT NO. 2013.058

SHEET NO. 4.01





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Title: STONEBRIDGE SUBDIVISION PLAT "A"
Location: MAPLETON CITY, UTAH
Drawing Name: IRRIGATION PLAN & PROFILE

PROJECT NO. 2013.058

SHEET NO. 4.02