

Planning Commission Staff Report

April 28, 2016

Item 2

Applicant: Summit

Construction

Location: 726 S Hwy 89

Prepared by: Sean Conroy,

Community Development

Director

Public Hearing: N

Zone: GC-1

Attachments:

1. Application materials.

REQUEST

Consideration of a code interpretation question regarding a storage area on the fourth story of a mixed use building located in the Harvest Park Commercial area in the General Commercial (GC-1) zone.

BACKGROUND AND PROJECT DESCRIPTION

In 2011, the City approved a project plan for the Harvest Park commercial development. The plan included seven commercial pad sites with conceptual architectural elevations for each building. Summit Construction is proposing to build on pad site six, which is centered on the western property line.

Summit's construction plans include the following:

- Commercial space on the main level;
- Four 2-story residential apartments that include space on the second and third stories; and
- A fourth story area used for storage only for the residential units. It would be framed at a ceiling height of 5'8 1/2".

EVALUATION

Story Limitation: Mapleton City Code (MCC) Chapter 18.82.170 indicates that mixed-use buildings in the General Commercial (GC-1) zone are limited to a maximum height of 45 feet and no more than three stories. This requirement is at least partially due to the City's lack of a ladder truck for fire fighters. Having habitable space above a third story puts the occupants at risk if a fire were to occur.

The applicant's plans show three stories of habitable space and a fourth story that would be used for storage only. The applicant is requesting to use otherwise unused attic space for storage area. The plans show the staircase continuing to the fourth story and then a storage area with a ceiling height of approximately 5' 8 1/2". The purpose of this meeting is for the Planning Commission to determine whether allowing a non-habitable storage area on the fourth story violates MCC Chapter 18.82.170.

Pros and Cons: Staff has included the following list of pros and cons of the proposal.

Pros

- The proposal allows for otherwise unused attic space to provide additional storage for tenants.
- The building will comply with the overall height limitation whether the attic space is improved or not.

Cons

- Once a staircase has been built and the attic space improved, it would not be difficult for a tenant to make other improvements without City approval that would create habitable space.
- The current design with windows on the fourth story give the appearance of a fully improved fourth story, whether it is habitable space or not.

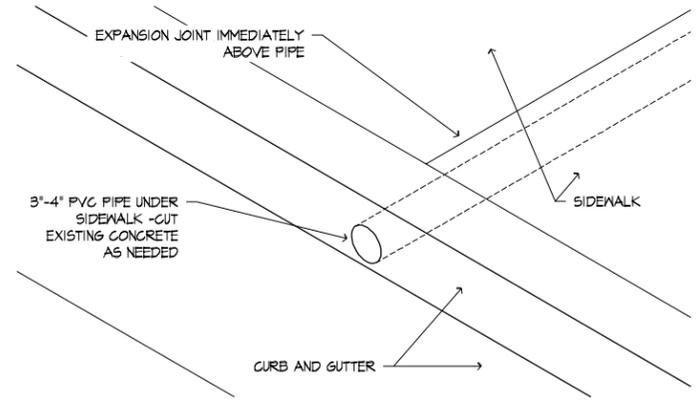
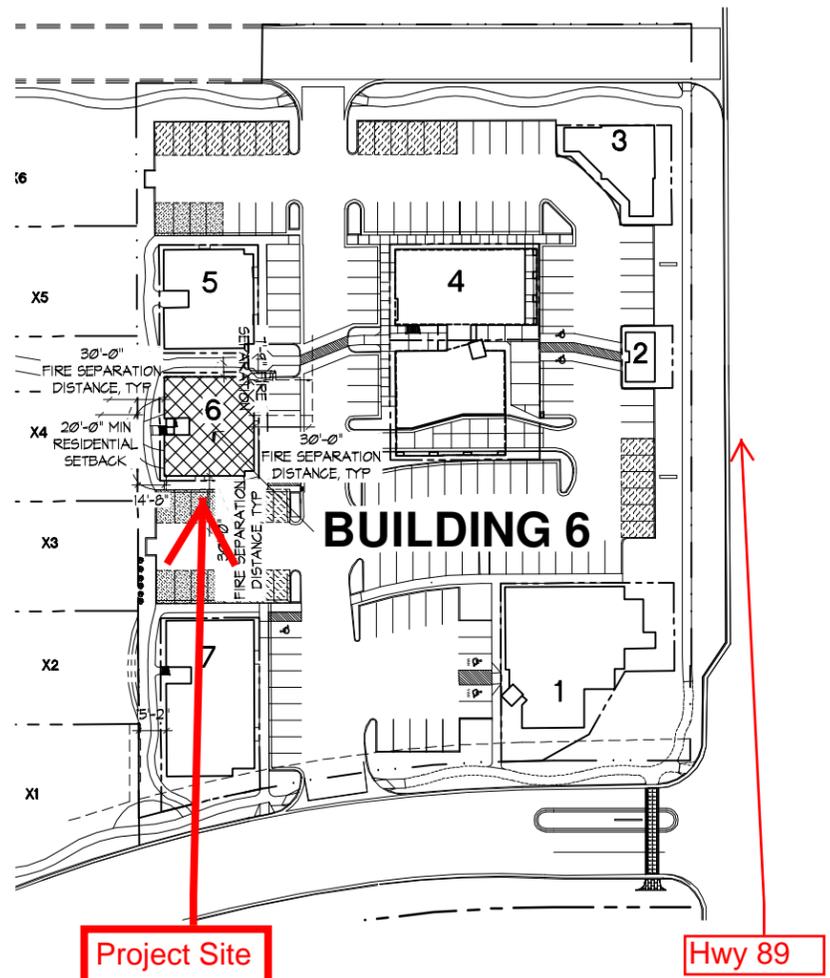
STAFF RECCOMENDATION

Determine whether the proposal to add non-habitable storage space on the fourth story is permissible under Mapleton City Code.

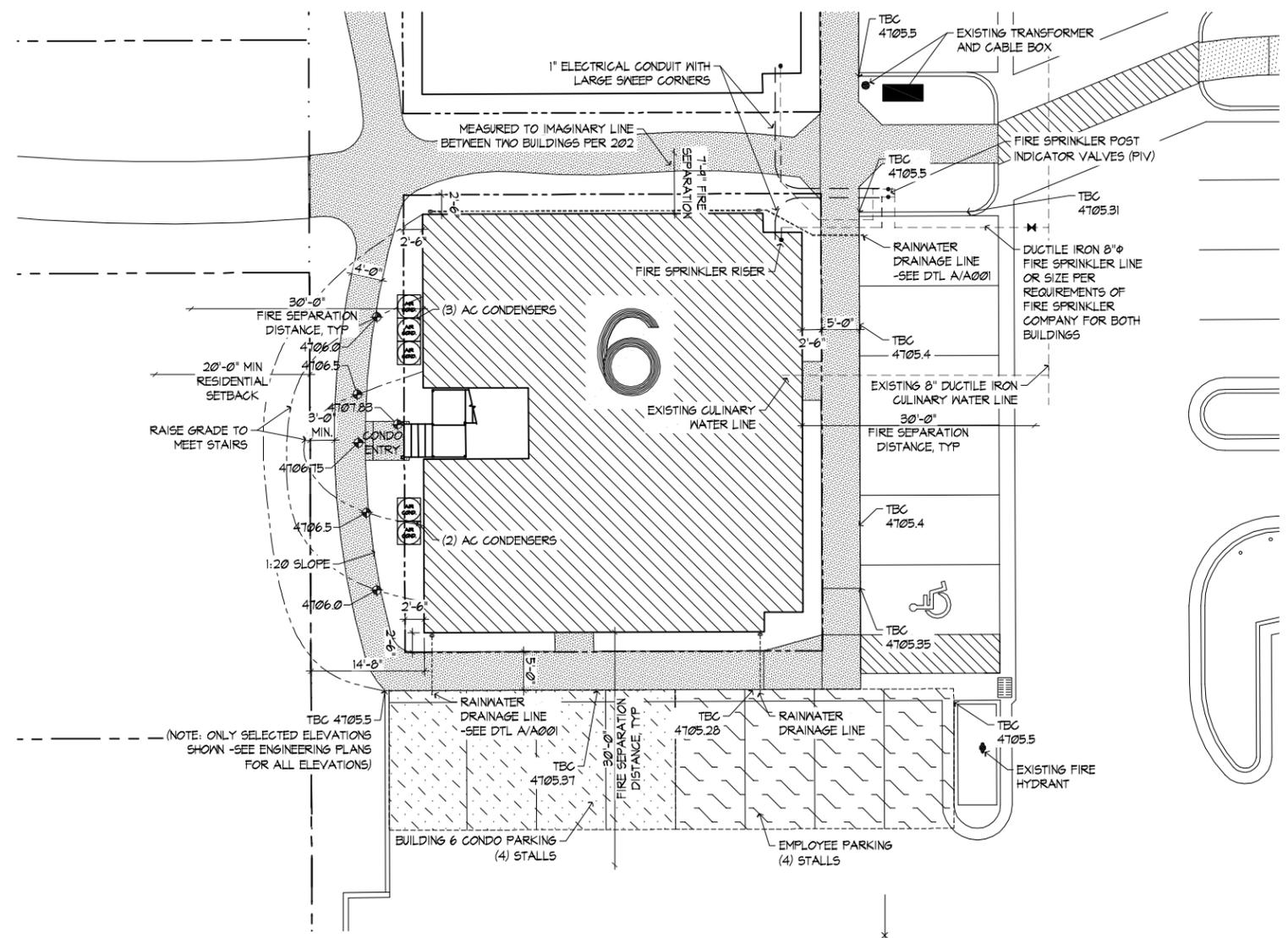
If the Commission is supportive of the proposal, staff would recommend the following conditions:

- 1) A notice is recorded on the property title indicating that the fourth story is for storage only and cannot be used as habitable space.
- 2) All windows on the fourth story should be removed.

HARVEST PARK COMMERCIAL CENTRAL SECTION



A UNDER-SIDEWALK RAINWATER DRAINAGE
1 1/2" = 1'-0"
(3/4" = 1'-0" ON 11x17 PAPER)



GRID LINES	
# OR X	- STANDARD GRID LINE LOCATED ALONG THE EXTERIOR FACE OF THE FOUNDATION WALL UNLESS NOTED OTHERWISE (U.N.O.)
SYMBOLS	
---	- PROPERTY LINE
---X---	- BLDG. SECTION
---X---	- PARTIAL SECTION
○	- DETAIL
△	- INTERIOR ELEV.
⊕	- DATUM ELEV.
MATERIALS	
▣	- CONCRETE BLOCK
▤	- STUD WALL
▥	- CONCRETE
▧	- EARTH, SOIL
▨	- GRANULATED GRAVEL FILL
▩	- INSULATION BOARD
▪	- BATT INSULATION
▫	- GYPSUM BOARD
▬	- WOOD, FRAMING (CONTINUOUS)
▭	- WOOD, FRAMING (INTERRUPTED)
▮	- PLYWOOD
▯	- WOOD, FINISH

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HARVEST PARK MIXED-USE #6
LOT 6 HARVEST PARK, MAPLETON, UTAH 84664
SITE PLAN
CENTRAL COMMERCIAL BUILDING 6 SHELL + RESIDENTIAL

Job #	
Dr. By	JAP
Ch. By	
Rev. By	
Revisions	
Date:	JUNE 26, 2014

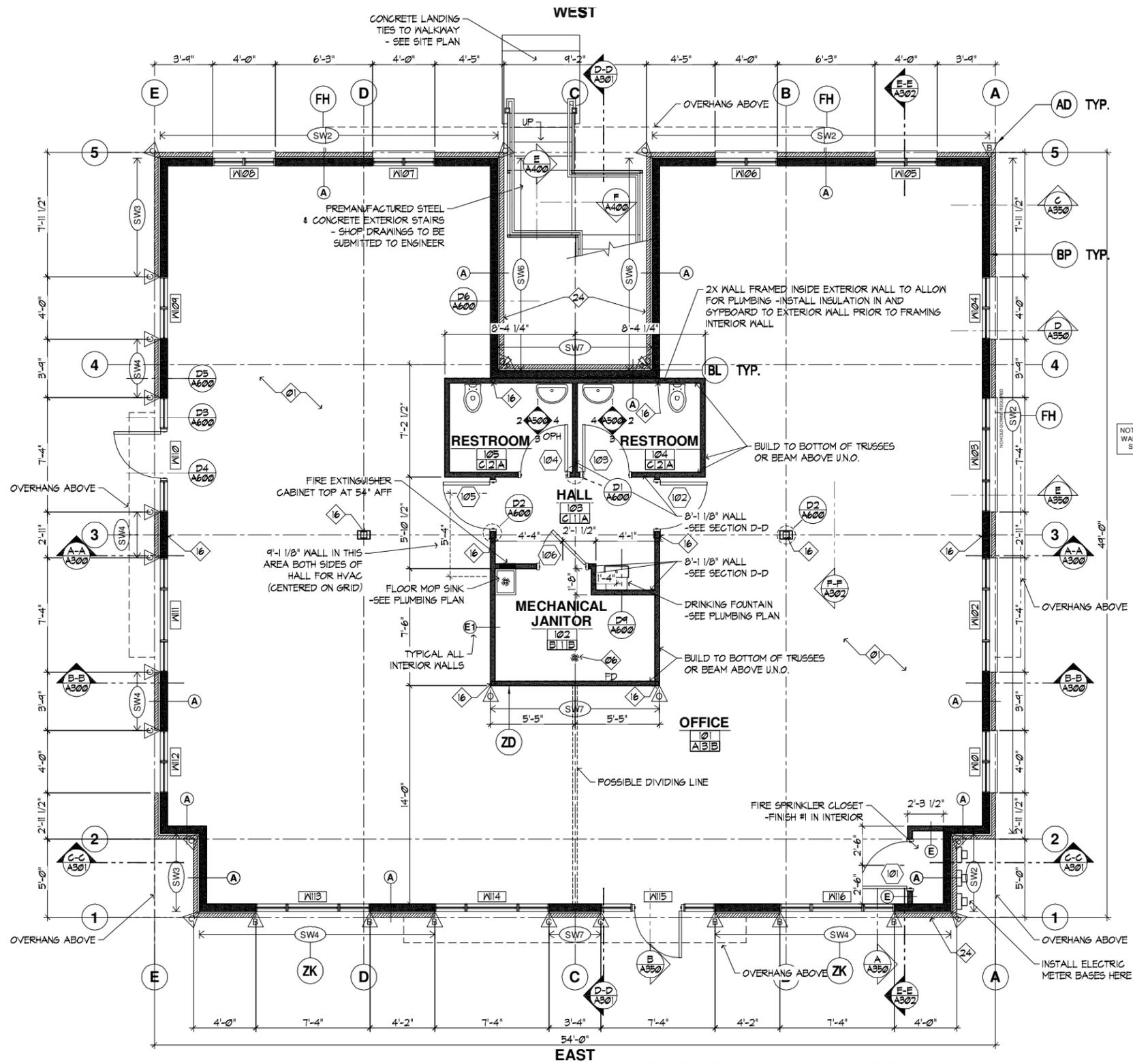
Sheet:
A001
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SHEAR WALL SCHEDULE					
MARK	SHEATHING	EDGE NAILING	WALL FRAMING	ANCHORAGE	
				SOLE PLATE	SILL PLATE
SW1	7/16"	8d @ 6"	2" NOMINAL	10d @ 8"	5/8" A.B. @ 16"
SW2	7/16"	8d @ 4"	2" NOMINAL	SDS25412 @ 6" W/ 1.5" RIM BOARD	5/8" A.B. @ 16"
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SW6	7/16"	8d @ 4"	2" NOMINAL	3/8"x7" L.S. @ 6" W/ 1.5" RIM BOARD	5/8" A.B. @ 16"
SW7	7/16"	8d @ 3"	3" NOMINAL	3/8"x7" L.S. @ 6" W/ 1.5" RIM BOARD	5/8" A.B. @ 16"

- SHEATHING SHALL CONSIST OF WOOD STRUCTURAL PANELS (SEE GSN).
- SHEATHING NAILS SHALL BE COMMON OR BOX NAILS. FIELD NAIL SPACING SHALL BE 12" FOR STUDS SPACED 16" O.C. OR LESS AND 8" O.C. FOR STUDS SPACED AT 24" O.C.
- ANCHORAGE NAILS SHALL BE COMMON NAILS.
- ANCHOR BOLTS SHALL HAVE A 3/8"x0.229" WASHER AND 7" MIN EMBEDMENT. THE WASHER SHALL EXTEND TO WITHIN 1/2" FROM THE SHEATHING.
- FOR SW3, SW4, SW7, AND SW8, TWO 2" NOMINAL FRAMING STITCH-NAILED TOGETHER WITH TWO 10d NAILS @ 6" MAY BE USED AT ABUTTING PANEL EDGES. FOR SW4, 2" NOMINAL SILL PLATE MAY BE USED IF ANCHOR BOLT SPACING IS REDUCED BY HALF.

HOLD-DOWN SCHEDULE				
MARK	HOLD-DOWN	FASTENERS	ANCHOR	POST
A	SSTD10	(28) 10d	STRAP 10" EMBED.	(2) 2X POST
C	SSTD14	(38) 10d	STRAP 14" EMBED.	(2) 2X POST
L	HDU5-SDS2.5	(14) SDS1/4X2.5"	5/8" A.B. 10" EMBED.	(2) 2X POST
O	HDU11-SDS2.5	(30) SDS1/4X2.5"	SB1x30 INTO FND WALL/PAB8 WITH 11" EMBED INTO FTG	6X6 POST
R	HDU14-SDS2.5	(36) SDS1/4X2.5"	SB1x30 INTO FND WALL	6X6 POST
E	MST37	(20) 10d	(FLOOR STRAP)	(2) 2X POST
F	MST48	(32) 10d	(FLOOR STRAP)	(2) 2X POST
G	MST60	(46) 10d	(FLOOR STRAP)	(2) 2X POST
D	CS16	(22) 10d	(FLOOR STRAP)	(2) 2X POST

- SIMPSON STRONG-TIE OR EQUIVALENT. SSTD STRAPS USE "RJ" TYPE AT RIM JOIST LOCATIONS.
- NAILS SHALL BE COMMON NAILS. SHEAR WALL EDGE NAILING SHALL BE TO POST.
- MISPLACED SSTD HOLD-DOWNS MAY BE RETROFITTED USING HTTS HOLD-DOWNS WITH 5/8" ALL THREAD BOLTS. EPOXY INTO FOUNDATION WALL WITH 5 INCHES EMBEDMENT. WHERE FRAMED WALL IS FLUSH WITH FOUNDATION WALL USE MST48 WITH TWO 1/2" DIA. WEDGE ANCHORS AS OPTION. FASTEN WITH 16-16d COMMON NAILS TO POST ABOVE.



FIRST LEVEL - COMMERCIAL
 1/4" = 1'-0"
 (1/8" ON 11x17 PAPER)

- KEYED NOTES**
- ⊖ CONG. FLOOR SLAB
 - ⊖ FLOOR SLAB PENETRATION FOR PLUMBING - COORD. WITH FLOOR PLANS
 - ⊖ TYPICAL POST - SEE FRAMING PLANS
 - ⊖ MASONRY VENEER

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FINISH KEY

FINISH	ROOM NUMBER
FLOOR	A112
WALLS	
CEILING	

- FLOOR**
- CONCRETE
 - SEALED CONCRETE
 - TILE
- WALLS**
- PAINTED GYPBOARD (MUDDED, SANDED, TEXTURED)
 - RESTROOM FINISH (PER INITIAL TENANT ALLOWANCE) - TILE OR FRP MAINSCOT & PAINTED GYPBOARD
 - UNFINISHED GYPBOARD (MUDDED AND SANDED ONLY)
- CEILING**
- DROP CEILING 2x4 GRID (SEE REFLECTED CEILING PLAN) UNDER UNFINISHED GYPBOARD (MUDDED ONLY)
 - UNFINISHED GYPBOARD (MUDDED ONLY)

ROOM DIRECTORY

RM #	NAME	FIN CLG HEIGHT
101	OFFICE SPACE	9'-0"
102	MECHANICAL/JANITOR	10'-10"
103	HALL	8'-0"
104	RESTROOM	8'-0"
105	RESTROOM	8'-0"

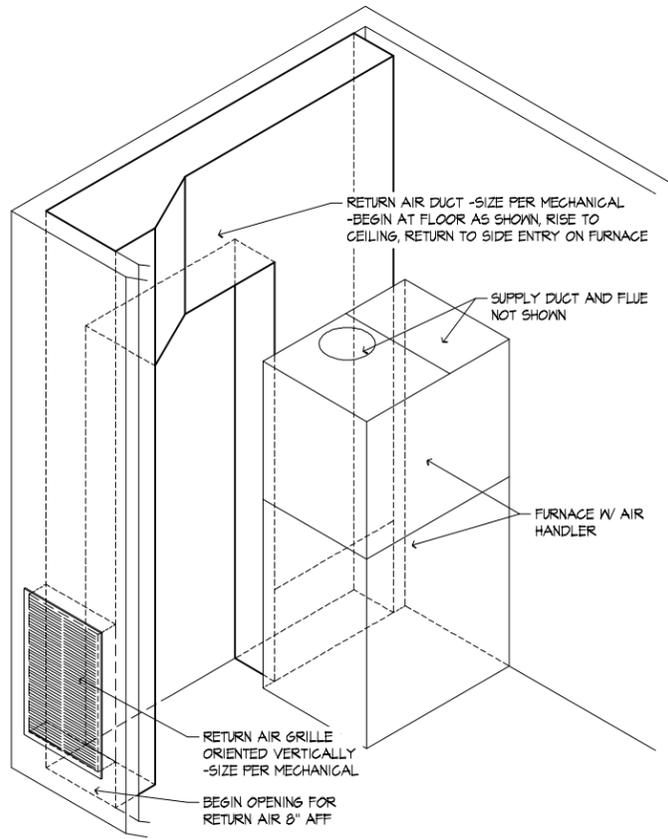
NOTE: THE ROOM NUMBERS LISTED ARE INITIAL SHELL NUMBERS. THEY MAY CHANGE ON FUTURE TENANT FINISH PLANS.

LEGEND

A	FIRE RESISTANCE & SOUND RATED WALL TYPE - SEE A351 (FLOOR/CEILING TAGS ON BUILDING SECTIONS)
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HARVEST PARK MIXED-USE #6
LOT 6 HARVEST PARK, MAPLETON, UTAH 84664
FIRST LEVEL FLOOR PLAN (GROUP B)
 CENTRAL COMMERCIAL BUILDING 6 SHELL + RESIDENTIAL

Job #	
Dr. By	JAP
Ch. By	
Rev. By	
Revisions	
Date:	JUNE 26, 2014
Sheet:	A101
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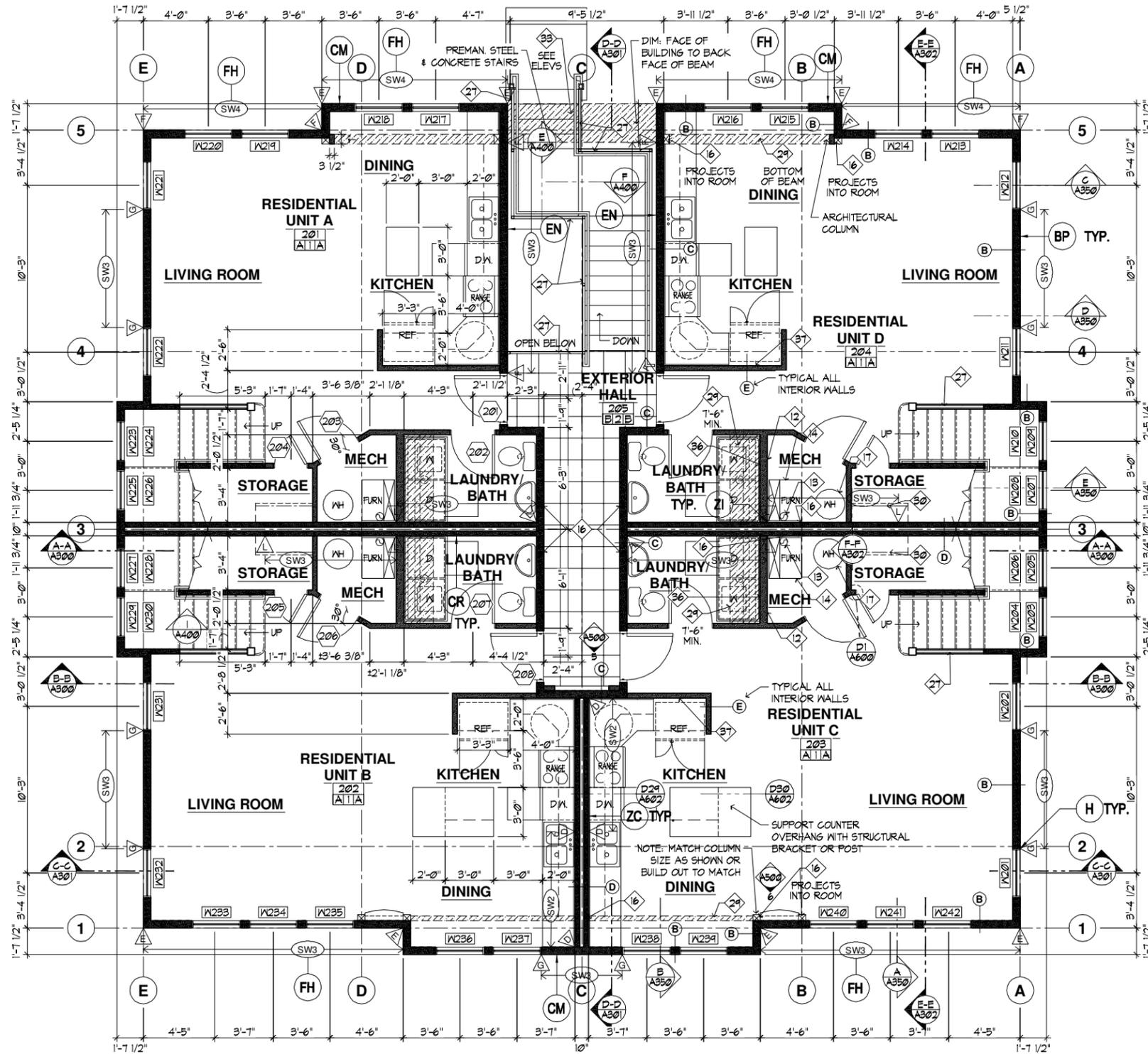
RETURN AIR ISOMETRIC
NO SCALE

MARK	SHEATHING	EDGE NAILING	WALL FRAMING	ANCHORAGE	
				SOLE PLATE	SILL PLATE
SW1	7/16"	8d @ 6"	2" NOMINAL	10d @ 8"	5/8" A.B. @ 16"
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MARK	HOLD-DOWN	FASTENERS	ANCHOR	POST
C	STHD14	(38) 10d	STRAP 14" EMBED.	(2) 2X POST
A	HDU5-SDS2.5	(14) SDS1/4X2.5"	5/8" A.B. 10" EMBED.	(2) 2X POST
D	HDU11-SDS2.5	(30) SDS1/4X2.5"	SB1x30 INTO FND WALL/PABR WITH 11" EM BED INTO FTG	6X6 POST
R	HDU14-SDS2.5	(36) SDS1/4X2.5"	SB1x30 INTO FND WALL	6X6 POST
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EAST SECOND LEVEL - RESIDENTIAL
1/4" = 1'-0"
(1/8" ON 11x17 PAPER)

- KEYED NOTES**
- 2x6 FURRING / PLUMBING WALL
 - FURNACE FLUE
 - FURNACE / AC
 - TYPICAL POST - SEE FRAMING PLANS
 - WATER HEATER - ATTACH TO WALL WITH SEISMIC STRAP
 - 3'-1" HIGH OPEN RAILING - PATTERN SHALL NOT PASS A 4" SPHERE
 - FURRED CEILING - HEIGHT AS NOTED
 - (1) ROD & (1) 14" DEEP PARTICULATE BOARD SHELF AT 5'-10" A.F.F. AS MEASURED TO TOP OF SHELF CLEAT (TYP. INSTALLATION AT ALL CLOTHES CLOSETS UNO.)
 - FURRED CEILING - ARCHED
 - RECESSED HOT, COLD AND DRAIN AT 36" A.F.F.
 - RECESSED 1/4" WATER LINE AT 36" A.F.F.

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NOTE: THE INTERIOR WALLS ON THE WESTERN UNITS (UNIT A AND UNIT B) ARE IDENTICAL. THE INTERIOR WALLS ON THE EASTERN UNITS (UNIT C AND UNIT D) ARE IDENTICAL. SEE THE FOLLOWING UNITS FOR CONSTRUCTION INFORMATION:

- DIMENSIONS UNITS A & B
- KEY NOTES UNITS C & D
- OTHER NOTES UNITS C & D
- WALL TYPES UNITS C & D
- DOOR TAGS UNITS A & B

FINISH KEY

ROOM NUMBER

FLOOR FINISH
A. RESIDENTIAL FLOOR FINISH OVER 1" GYPCRETE
B. EXTERIOR NON-SLIP TILE OVER THIN-SET GROUT OVER WATERPROOFING OVER 1" GYPCRETE

WALLS
1. RESIDENTIAL WALL FINISH
2. HARDIETRIUM LAP SIDING -SEE WALL TYPE DETAILS

CEILING
A. RESIDENTIAL CEILING FINISH
B. PAINTED AZEK BEADBOARD PANELS

ROOM DIRECTORY

RM #	NAME	FIN CLG HEIGHT
201	RESIDENTIAL UNIT A	8'-0"
202	RESIDENTIAL UNIT B	8'-0"
203	RESIDENTIAL UNIT C	8'-0"
204	RESIDENTIAL UNIT D	8'-0"
205	EXTERIOR HALL	8'-0"

LEGEND

(A) FIRE RESISTANCE & SOUND RATED WALL TYPE -SEE A351 (FLOOR/CEILING TAGS ON BUILDING SECTIONS)

FUR-DOWN

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HARVEST PARK MIXED-USE #6
LOT 6 HARVEST PARK, MAPLETON, UTAH 84664
SECOND LEVEL FLOOR PLAN (GROUP R-2)
CENTRAL COMMERCIAL BUILDING 6 SHELL + RESIDENTIAL

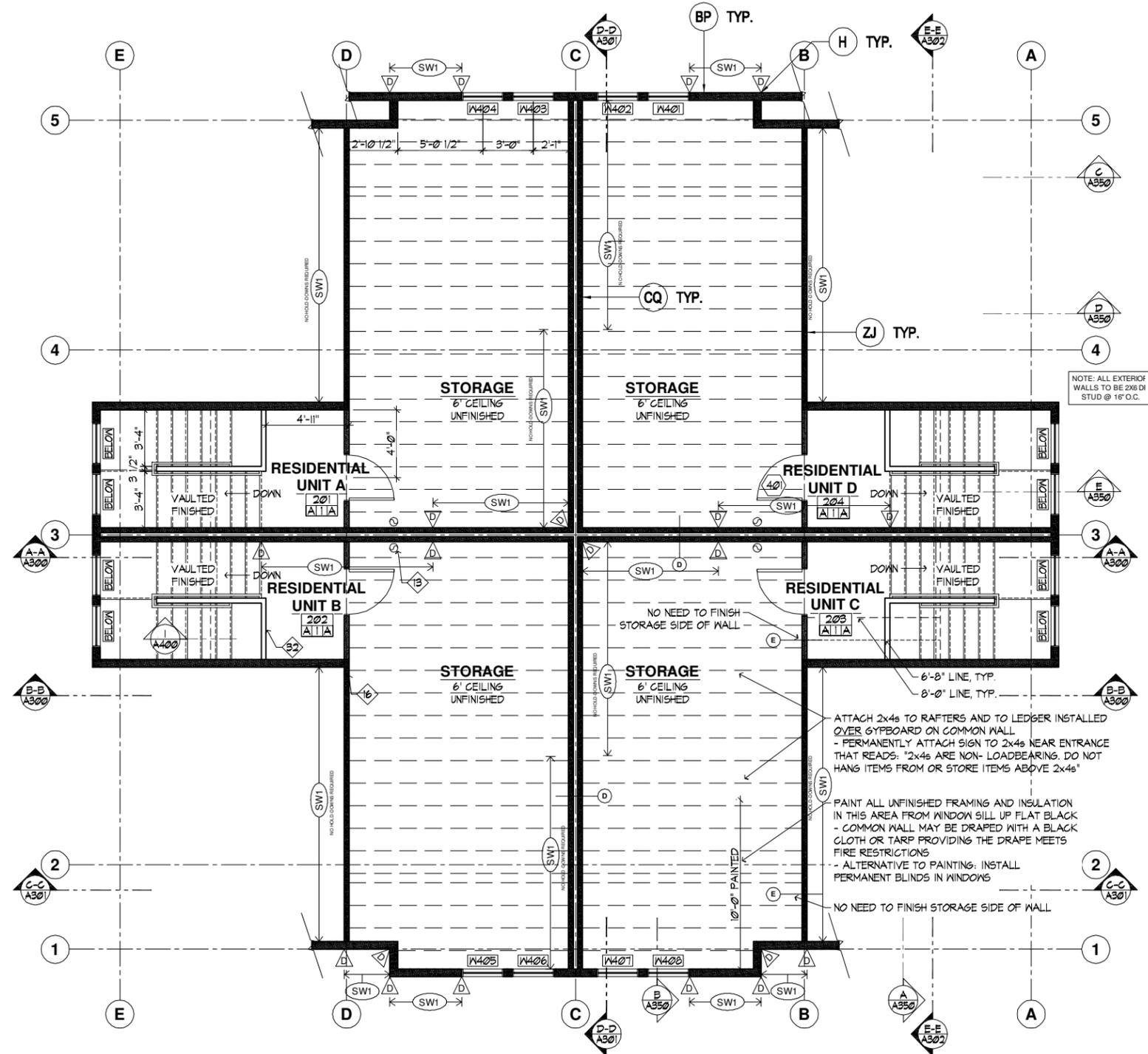
Job #	
Dr. By	JAP
Ch. By	
Rev. By	
Revisions	
Date:	JUNE 26, 2014
Sheet:	A102
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SHEAR WALL SCHEDULE					
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HOLD-DOWN SCHEDULE				
MARK	HOLD-DOWN	FASTENERS	ANCHOR	POST
B	STHD10	(28) 10d	STRAP 10" EMBED.	(2) 2X POST
C	STHD14	(38) 10d	STRAP 14" EMBED.	(2) 2X POST
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EAST
FOURTH LEVEL - RESIDENTIAL
 1/4" = 1'-0"
 (1/8" ON 11x17 PAPER)

KEYED NOTES	
15	FURNACE FLUE
16	TYPICAL POST - SEE FRAMING PLANS
22	3" HALF WALL W/ 3/4" HARDWOOD CAP

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- DIMENSIONS UNIT A
- KEY NOTES UNIT B
- OTHER NOTES UNIT C
- WALL TYPES UNIT C
- DOOR TAGS UNIT D

FINISH KEY	
###	ROOM NUMBER
FLOOR	
WALLS	
CEILING	

ROOM DIRECTORY		
RM #	NAME	FIN CLG HEIGHT
201	RESIDENTIAL UNIT A	8'-0"
202	RESIDENTIAL UNIT B	8'-0"
203	RESIDENTIAL UNIT C	8'-0"
204	RESIDENTIAL UNIT D	8'-0"

NOTE: THE ROOM NUMBERS LISTED ARE INITIAL SHELL NUMBERS. THEY WILL CHANGE ON FUTURE TENANT FINISH PLANS.

LEGEND	
(A)	FIRE RESISTANCE # SOUND RATED WALL TYPE - SEE A351 (FLOOR/CEILING TAGS ON BUILDING SECTIONS)
(Hatched)	FUR-DOWN

HARVEST PARK MIXED-USE #6
LOT 6 HARVEST PARK, MAPLETON, UTAH 84664
FOURTH LEVEL FLOOR PLAN (GROUP R-2)
 CENTRAL COMMERCIAL BUILDING 6 SHELL + RESIDENTIAL

Job #	
Dr. By	JAP
Ch. By	
Rev. By	
Revisions	
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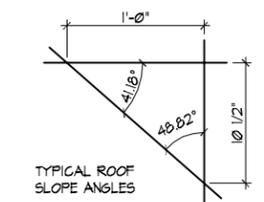
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- KEYED NOTES**
- 44 MASONRY VENEER
 - 40 30# ARCH. GRADE ASPHALT SHINGLES
 - 42 HARDPLANK LAP SIDING - SMOOTH FINISH, 8" EXPOSURE
 - 46 HARDITRIM OVER 2x8 FASCIA, TYP. (OR SIZE AS NOTED)
 - 49 LINE OF INTERIOR VAULTED CEILING
 - 55 PLASTERED CONCRETE FOUNDATION WALL - NATURAL COLOR PLASTER, THIS LOCATION.
 - 50 BRICK SOLDIER COURSE ON STEEL LINTEL
 - 60 HARDITRIM 1" x 5 1/2" SMOOTH TRIM, TYP. (U.N.O.)
 - 67 HARDIE SHINGLES 7" EXPOSURE

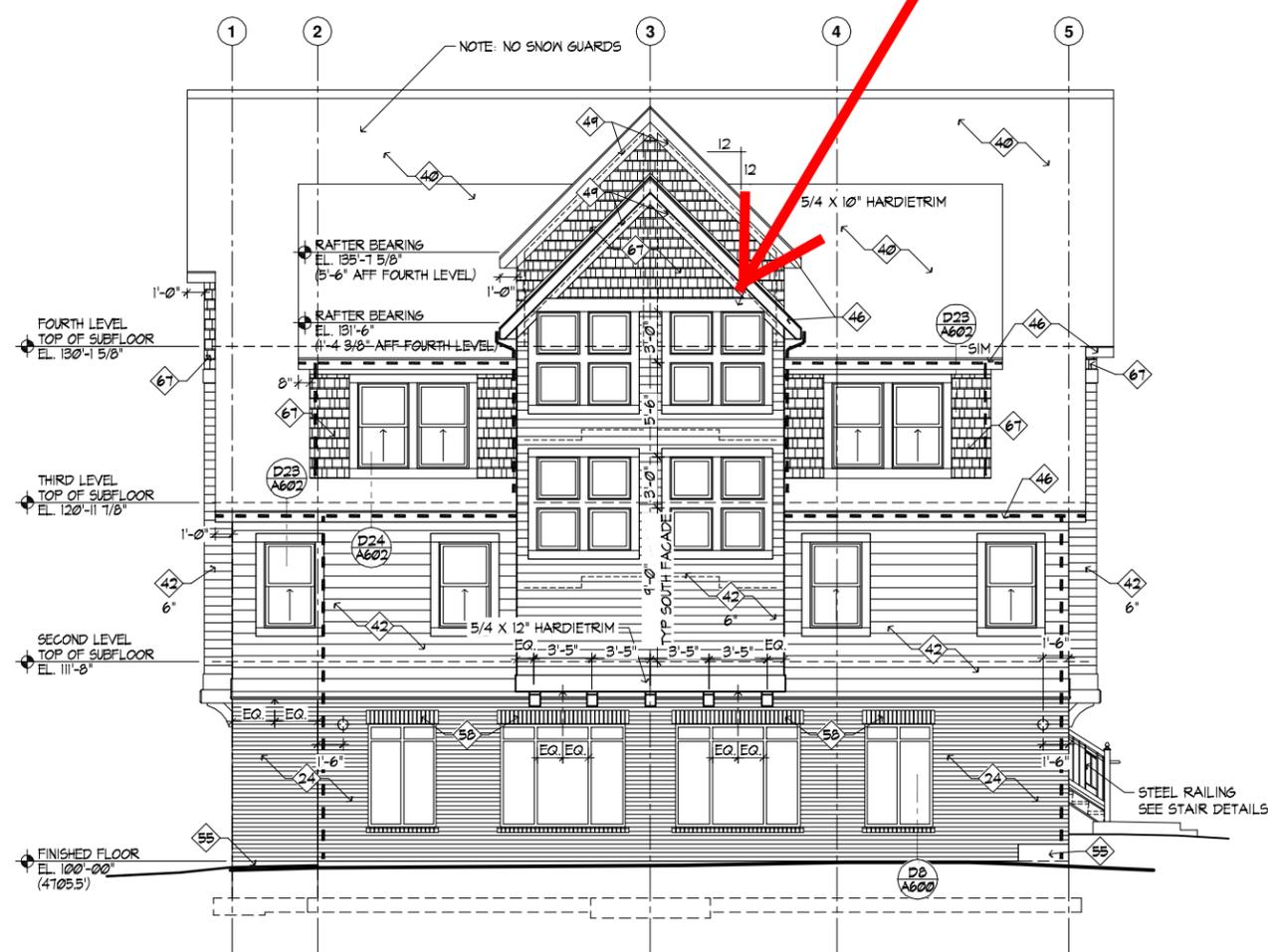
NOTES:
 - ALL EXTERIOR SIGNAGE REQUIRES A SEPARATE BUILDING PERMIT

⊕ EXTERIOR SURFACE MOUNT LIGHT (SHOWN FOR LOCATION ONLY)

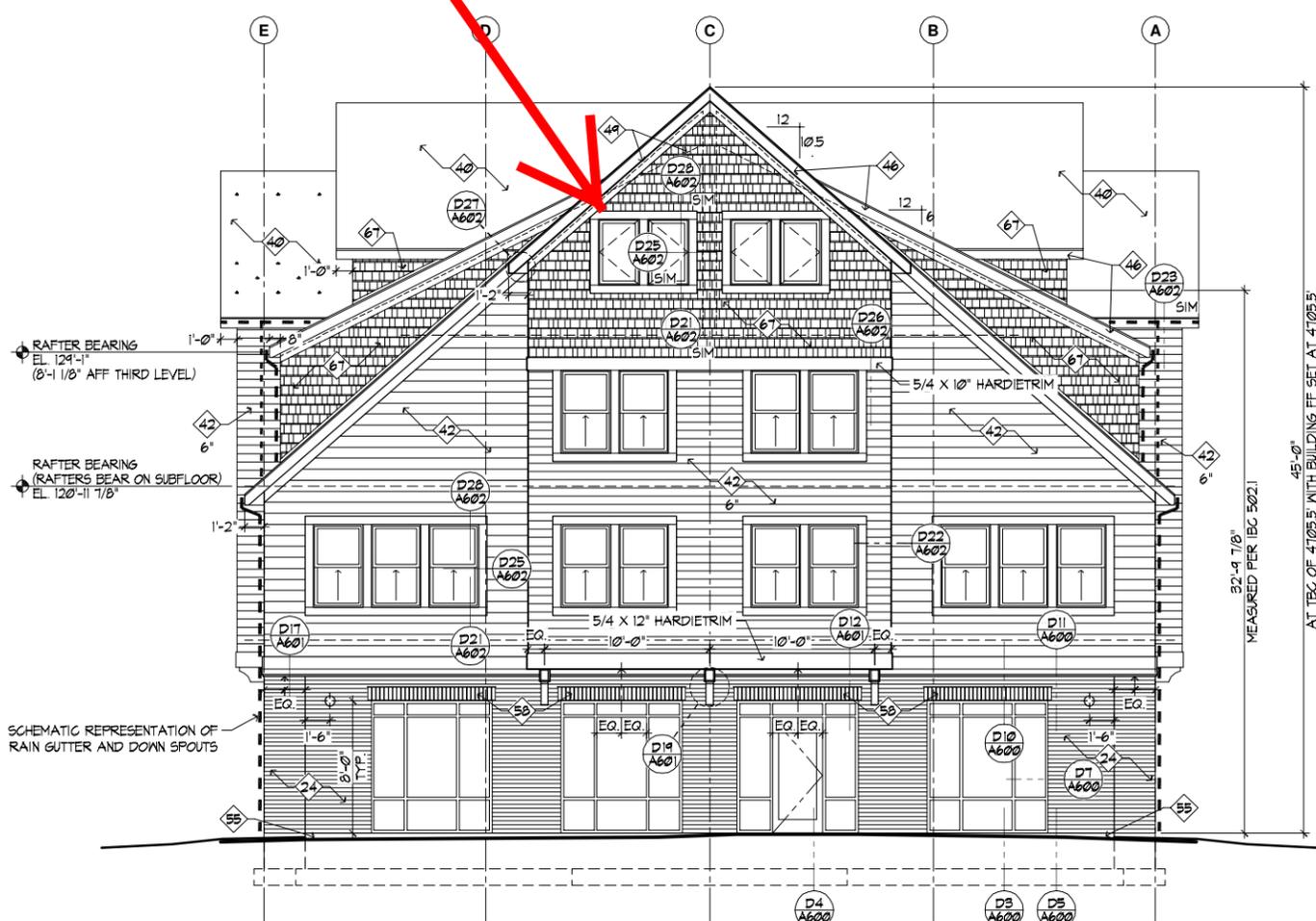
↑ EXTERIOR LIGHT IN OVERHANG (SHOWN FOR LOCATION ONLY)



4th Story Windows



NORTH ELEVATION
 3/16" = 1'-0"
 (3/32" = 1'-0" ON 11x17 PAPER)



EAST ELEVATION
 3/16" = 1'-0"
 (3/32" = 1'-0" ON 11x17 PAPER)

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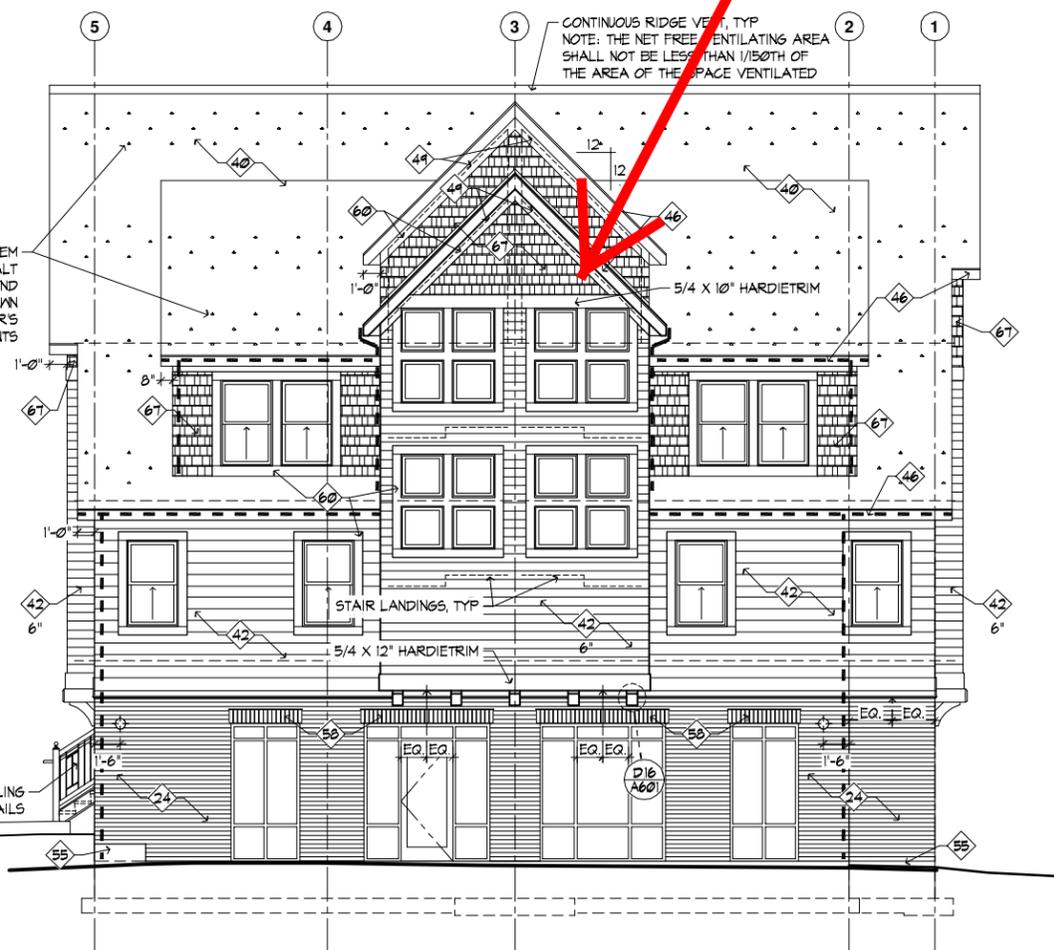
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HARVEST PARK MIXED-USE #6
 LOT 6 HARVEST PARK, MAPLETON, UTAH 84664
 EAST & NORTH ELEVATIONS
 CENTRAL COMMERCIAL BUILDING 6 SHELL + RESIDENTIAL

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Dr. By	JAP
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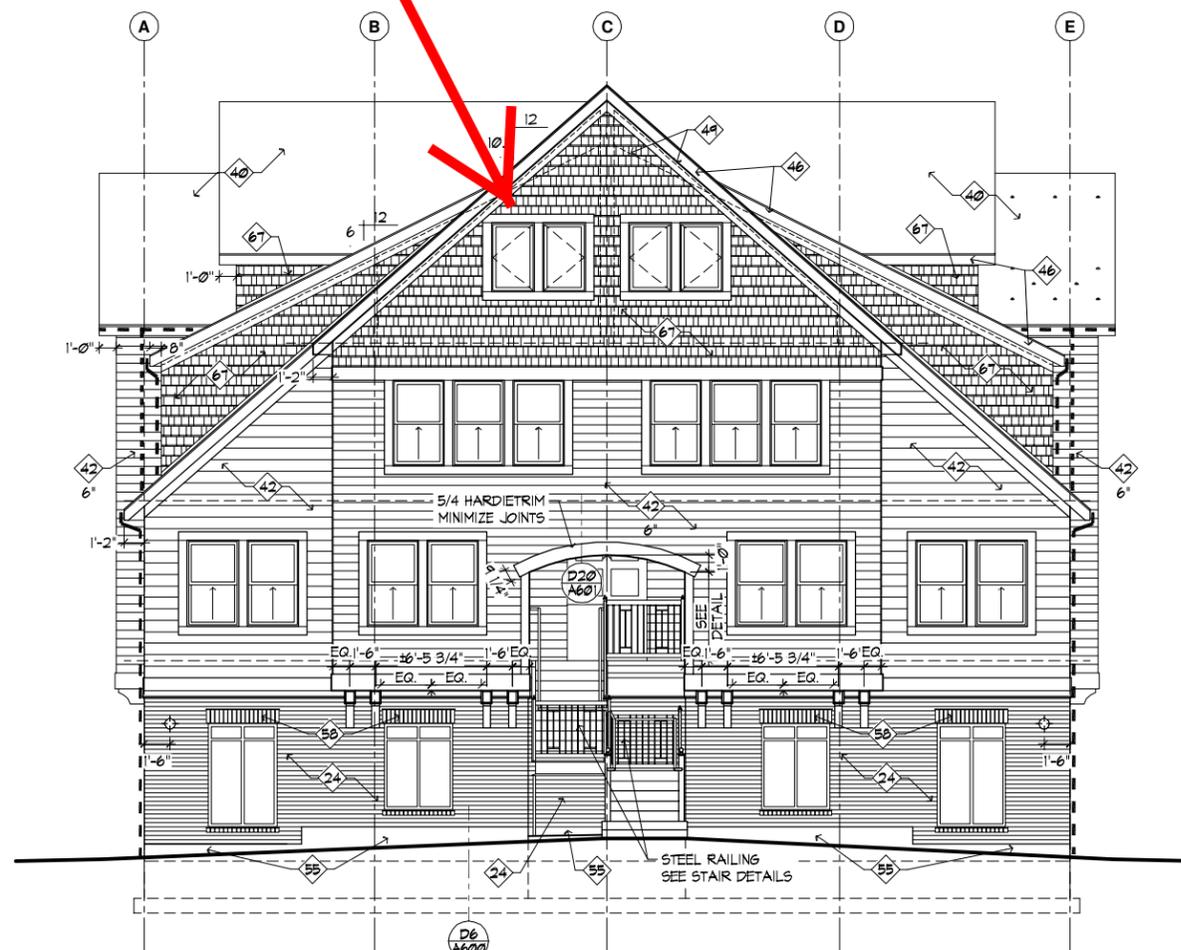
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SNOW RETENTION SYSTEM
DESIGNED FOR ASPHALT
SHINGLES - SPACED AND
INSTALLED IN AREAS SHOWN
PER MANUFACTURER'S
REQUIREMENTS



SOUTH ELEVATION
3/16" = 1'-0"
(3/32" = 1'-0" ON 11x17 PAPER)

4th Story Windows



WEST ELEVATION
3/16" = 1'-0"
(3/32" = 1'-0" ON 11x17 PAPER)

KEYED NOTES

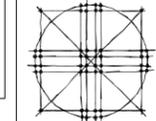
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NOTES:
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⊕ EXTERIOR SURFACE MOUNT LIGHT (SHOWN FOR LOCATION ONLY)

↗ EXTERIOR LIGHT IN OVERHANG (SHOWN FOR LOCATION ONLY)

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HARVEST PARK MIXED-USE #6
LOT 6 HARVEST PARK, MAPLETON, UTAH 84664
WEST & SOUTH ELEVATIONS
CENTRAL COMMERCIAL BUILDING 6 SHELL + RESIDENTIAL

Job #	
Dr. By	JAP
Ch. By	
Rev. By	
Revisions	

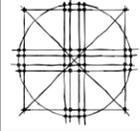
Date: JUNE 26, 2014

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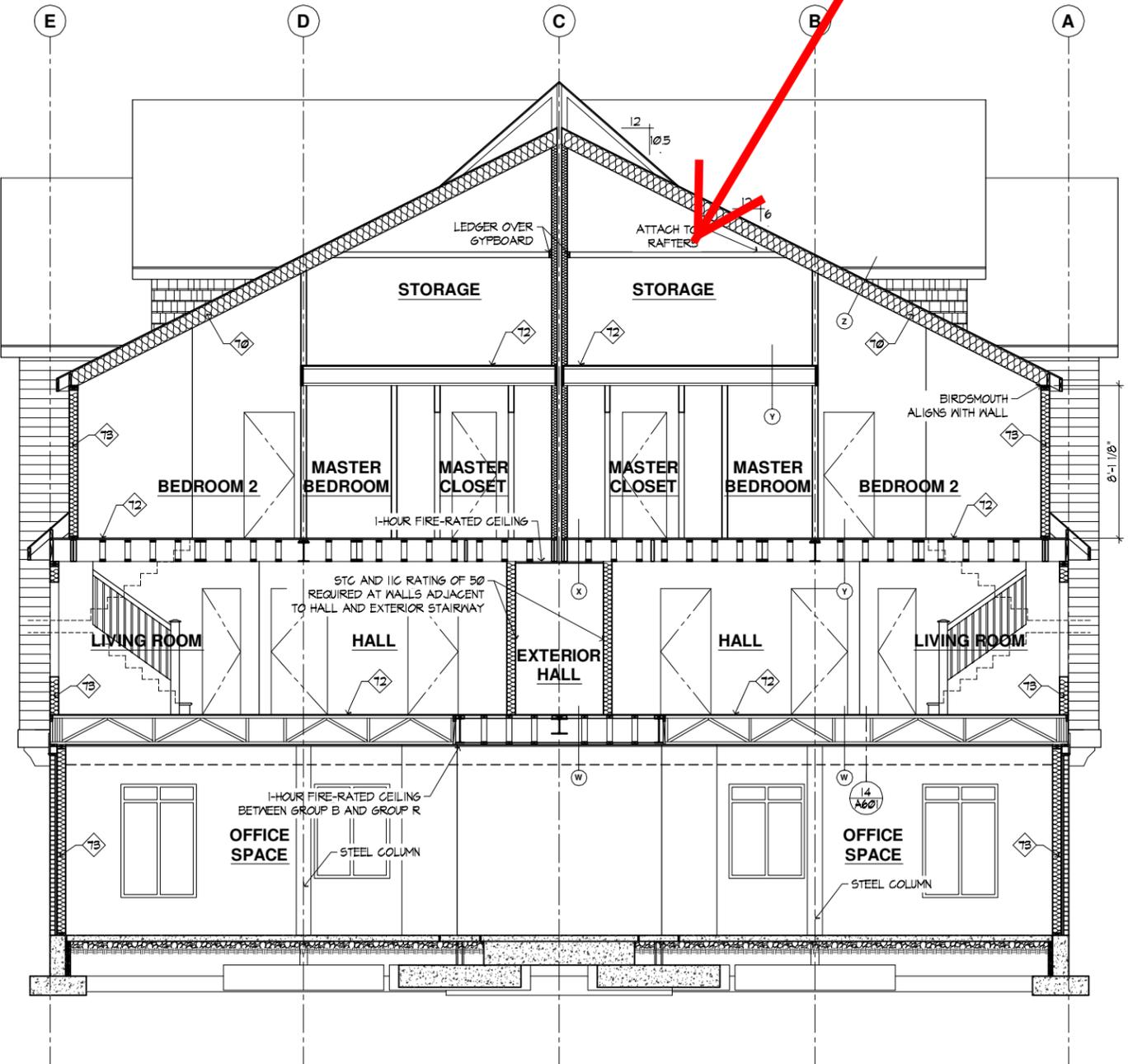
Ceiling framed at
5'8 1/2"

- KEYED NOTES**
- (2) 22" x 30" ATTIC ACCESS CENTERED BETWEEN ROOF TRUSSES
 - (24) MASONRY VENEER
 - (4) STUCCO WITH ACRYLIC FINISH COAT
 - (42) HARDPLANK LAP SIDING - SMOOTH FINISH, 8" EXPOSURE
 - (10) R-38 MIN. CEILING INSULATION, BATT AT VAULTED CEILING
 - (12) FLOOR SHEATHING ON FLOOR FRAMING (SEE ENGINEERING NOTES & DETAILS)
 - (18) R-13 MIN. WALL BATTS

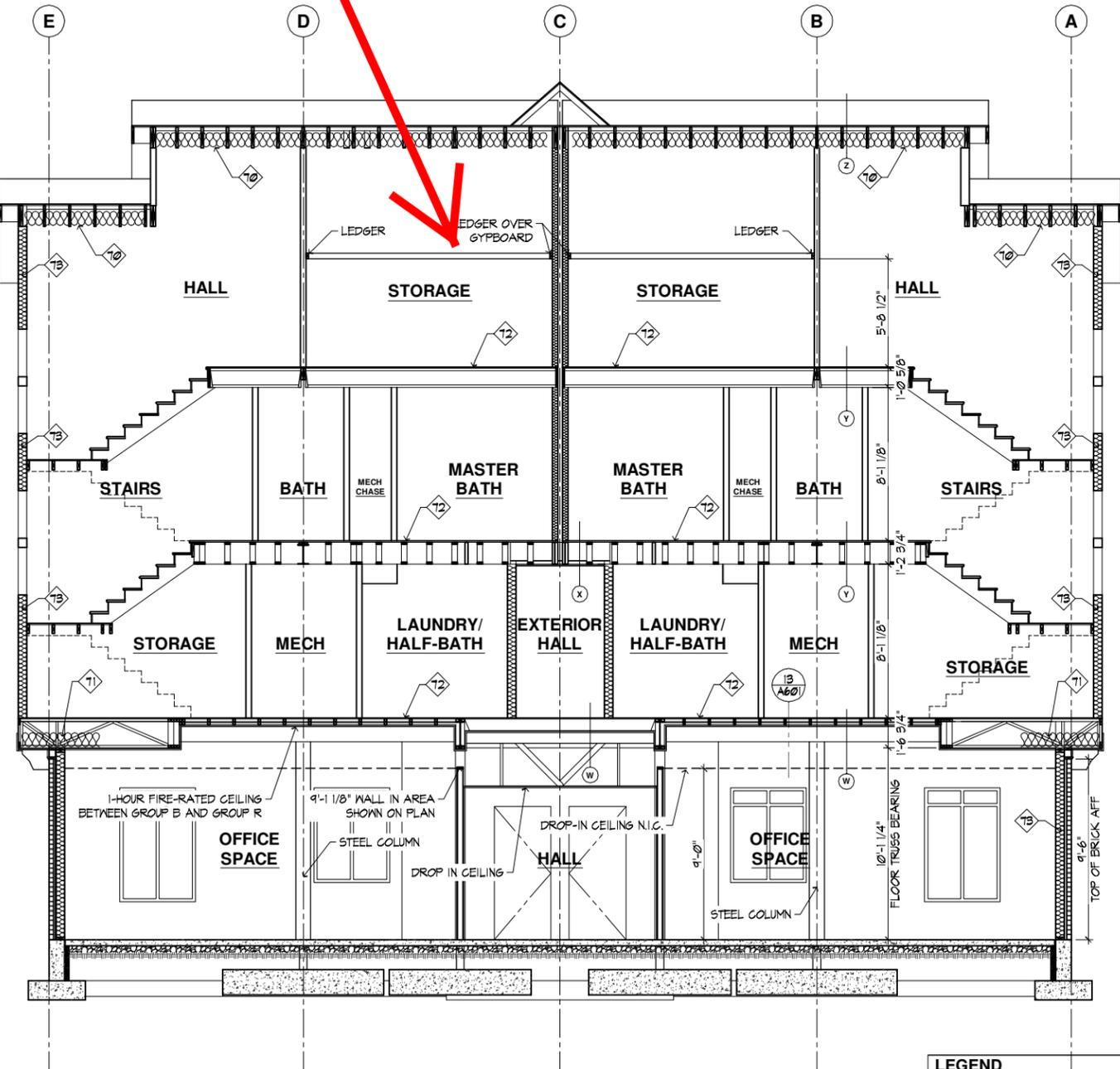
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B-B BUILDING SECTION
1/4" = 1'-0"
(1/8" ON 11x17 PAPER)



A-A BUILDING SECTION
1/4" = 1'-0"
(1/8" ON 11x17 PAPER)

- LEGEND**
- (A) FIRE RESISTANCE & SOUND RATED FLOOR/CEILING TYPE - SEE A351 (WALL TAGS ON FLOOR PLANS)
 - FUR-DOWN

HARVEST PARK MIXED-USE #6
LOT 6 HARVEST PARK, MAPLETON, UTAH 84664
BUILDING SECTION
CENTRAL COMMERCIAL BUILDING 6 SHELL + RESIDENTIAL

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Ch. By	
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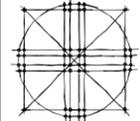
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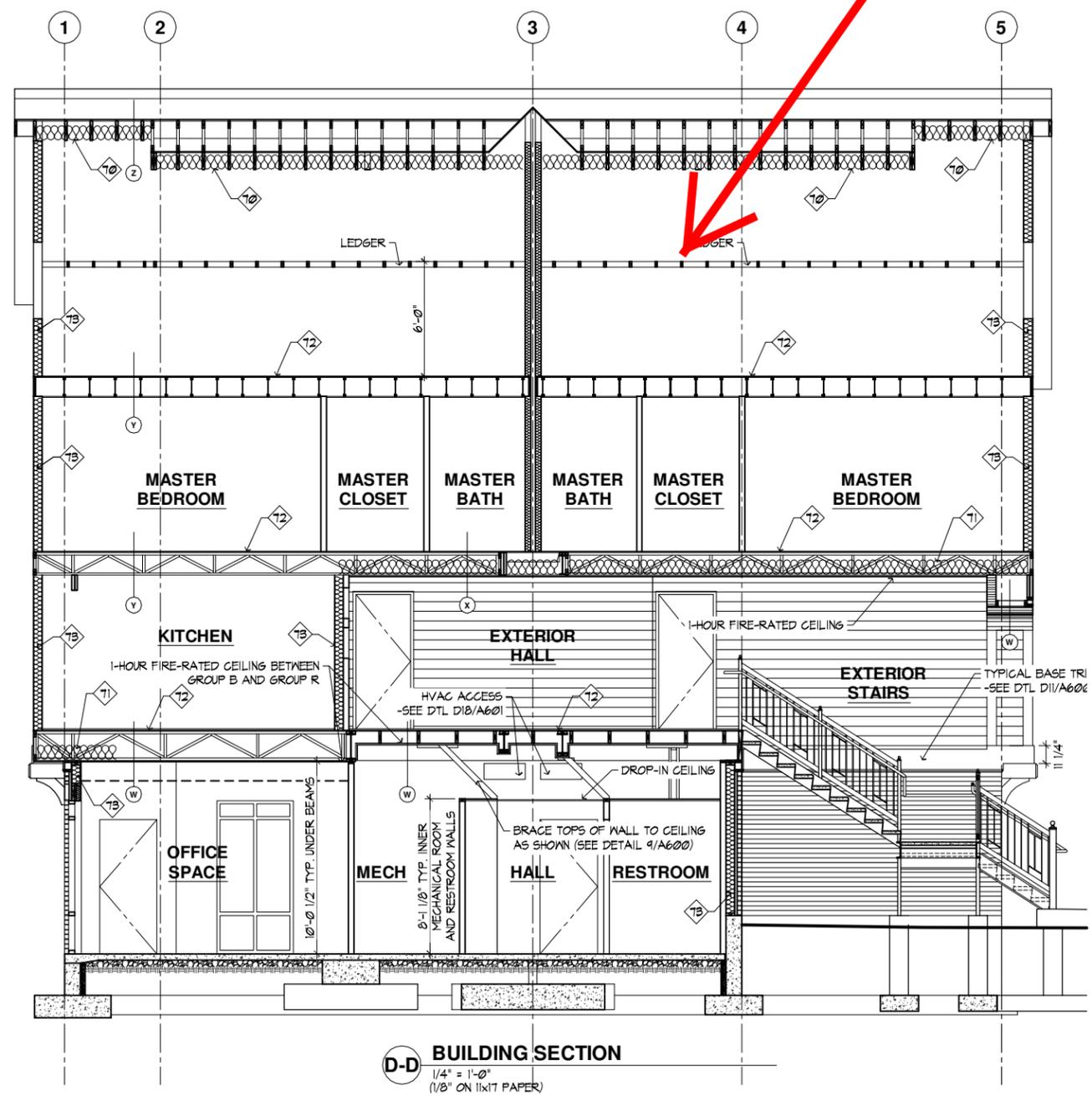
Ceiling framed at 5'8 1/2"

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 - (13) R-13 MIN. WALL BATTS

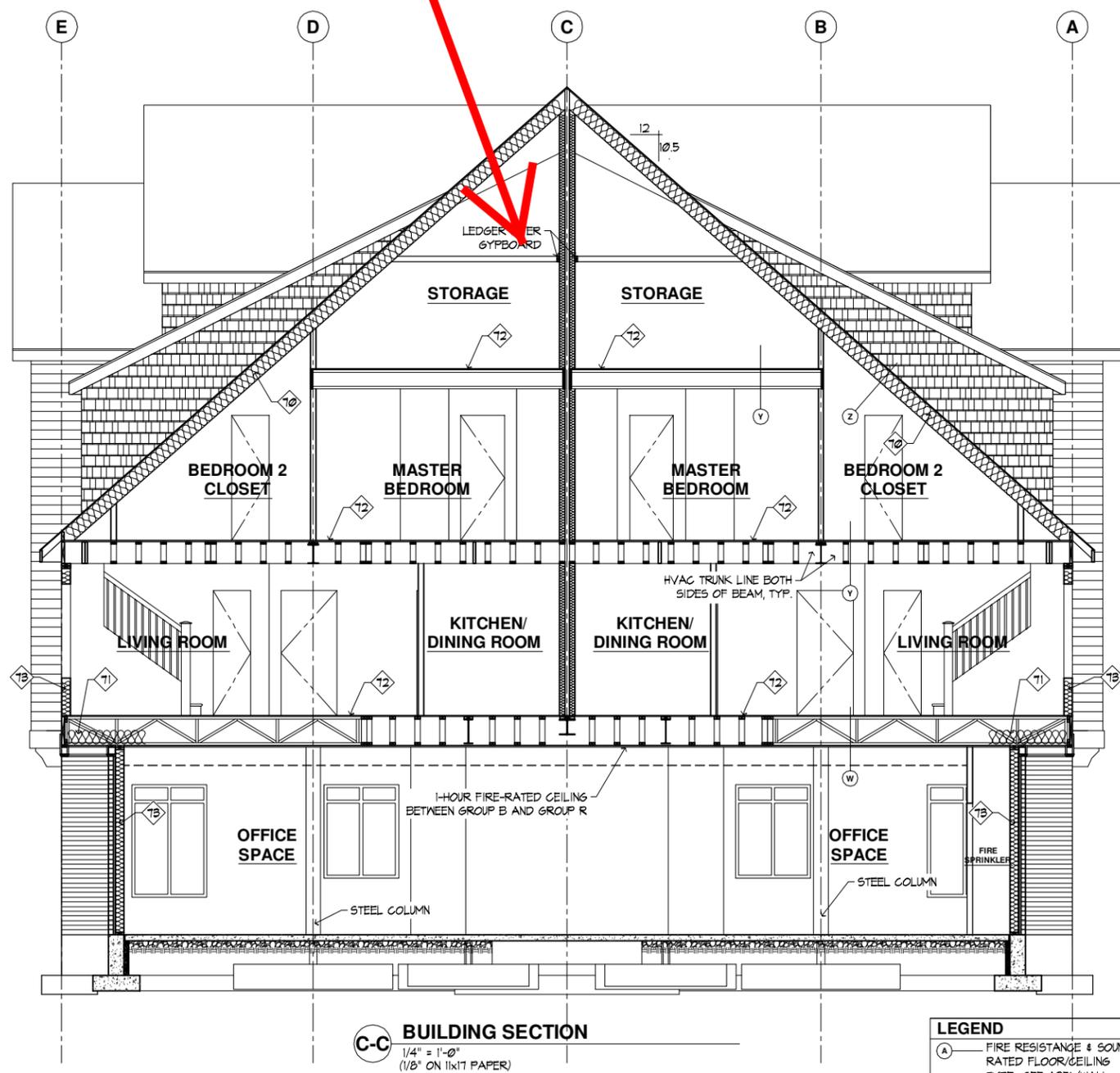
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D-D BUILDING SECTION
 1/4" = 1'-0"
 (1/8" ON 11x17 PAPER)



C-C BUILDING SECTION
 1/4" = 1'-0"
 (1/8" ON 11x17 PAPER)

LEGEND

- (A) FIRE RESISTANCE & SOUND RATED FLOOR/CEILING TYPE - SEE A351 (WALL TAGS ON FLOOR PLANS)
- FUR-DOWN

HARVEST PARK MIXED-USE #6
 LOT 6 HARVEST PARK, MAPLETON, UTAH 84664
 BUILDING SECTION

CENTRAL COMMERCIAL BUILDING 6 SHELL + RESIDENTIAL

Job #	
Dr. By	JAP
Ch. By	
Rev. By	JAP
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