

# Planning Commission Staff Report

October 13, 2016

## Item 2

**Applicant:** Grant & Marci  
Murdoch

**Location:** 290 E 600 North

**Prepared by:** Brian Tucker

**Public Hearing:** No

**Zone:** R-2

**Attachments:**

1. Utah Code 10-9a-702
2. Application materials.

### REQUEST

Consideration of a Variance to the front setback requirement for an existing home on a corner lot at 290 East 600 North, parcel #26:064:0330.

### BACKGROUND AND PROJECT DESCRIPTION

The subject property has a single family home on .43 acres. The home was built in 1948, prior to the adoption, in 1950, of the first ordinance that could be called a zoning ordinance as we think of them today. The home came to be located on an interior lot, subject to the setback standards for interior lots.

In February 2013 a boundary line adjustment was recorded that adjusted the property line to the current configuration. This boundary line agreement did not change the size or shape of the lot in any meaningful way, it acted to correct previous legal descriptions that placed the lot, likely in error, a few feet north and east of the current property description. This boundary line adjustment resulted in a side setback, between the western property line and the west side of the house, a few feet wider than had previously been the case. After this boundary line agreement, the side setback measured 17', in compliance with the 10' side setback standard.

On April 24, 2014 the Meadows at Mapleton Subdivision, Plat "A", was recorded, dividing the adjacent to the west. As a result of this subdivision 250 East was constructed and dedicated in a manner that made the property at 290 East 600 North a corner lot. As a result of this action by an adjacent property owner and the City, the property in question became legal, nonconforming as to the required 30' setback from each street frontage.

### REQUEST

The applicants, the owners of the home at 290 East 600 North, are requesting a variance that would allow them to build an addition to their home that includes additional structure within the 30' required front yard setback from 250 East. Most of the requested addition does not include any structure located nearer to 250 East, although there is a second floor addition that extends an additional 3' into the setback. The requested addition does not increase the degree of non-conformity as measured from the foundation and the 3' second floor addition does not exceed the allowable projection of 4' into a front yard setback. Because the addition does not meet the required setback from 250 East a variance is needed.

### EVALUATION

**Variance:** Utah Code, Section 10-9a-702 enables cities to grant variances but only in accordance with very specific criteria. Mapleton City also has a section

governing variances, Section 18.84.360.F. In accordance with Utah Code, each of the five criteria must be met or the variance must be denied. This section is broken down as follows:

***F. The planning commission may only grant a variance to waive or modify the requirements of a land use ordinance as applied to a parcel of property if:***

***(1) literal enforcement of the ordinance would cause an unreasonable hardship, as defined in Utah Code section 10-9a-702, for the applicant that is not necessary to carry out the general purpose of the land use ordinances;***

Request Evaluation: The purpose of the setback requirement is to establish a minimum area between the street and the homes in order to create a more orderly streetscape. Mapleton City, in accordance with Mapleton Code, Section 18.20.080, allowed the construction of 250 East with only 17’ between the existing Murdoch home and the new street. There was no better alternative to this location and the failure to construct a through street between 400 and 600 North would have been contrary to the adopted transportation plan. This action by Mapleton City created a reduced side setback and reduced the ability of the property owner to add on to the home in a manner that would have been perfectly legal prior to the City’s action. In accordance with Utah Code, there would be a hardship created by the literal enforcement of the 30 setback and that hardship is not economic or self-imposed. Staff suggest that the unreasonable hardship criteria is met.

***(2) there are special circumstances, as defined in Utah Code section 10-9a-702, attached to the property that do not generally apply to other properties in the same zone;***

Request Evaluation: The special circumstances in this case are the actions by the City that turned a typical interior lot into a corner lot. As an interior lot with only a 10’ side setback requirement the proposed addition would have been approved with no issue. As a corner lot with a legal, non-conforming setback the addition cannot be approved. There are only a few instances within the whole of Mapleton City where a conforming side setback has become, through no fault of the owner, a non-conforming setback.

***(3) granting the variance is essential to the enjoyment of a substantial property right possessed by other property in the same zone;***

Request Evaluation: Any lot with a conforming side setback could be issued a building permit so long as the side setback requirement was met. The change in the nature of the lot, from an interior lot to a corner lot, took the right to add onto the home away from the homeowners.

***(4) the variance will not substantially affect the general plan and will not be contrary to the public interest; and***

Request Evaluation: Staff notes that if the variance is granted it would not substantially affect the general plan or create a significant public interest conflict for this particular parcel. The rarity of the special circumstances in this case, i.e., the creation of a non-conformity through a governmental action, would not create any widely applicable set of circumstances that would be contrary to the public interest or undermine the general plan.

*(5) the spirit of the land use ordinance is observed and substantial justice done.*

Request Evaluation: The spirit of the land use ordinance would not be served by the denial of a right held by other properties in the area because of an action taken by the City to serve the public interest in greater street connectivity. It would be unjust for one property owner to bear all of the burden for a decision made to further the public interest.

**STAFF RECCOMENDATION**

Approve the variance with the following findings:

1. Prior to the dedication of 250 East, the home at 290 East 600 North was an interior lot that conformed with all of the minimum setback requirements of the R-2 zoning district.
2. The dedication of 250 East was in accordance with Mapleton City Code and furthered the transportation plan by creating a greater degree of street interconnectivity.
3. As a result of governmental action, the home at 290 East 600 North was no longer a conforming interior lot, but rather a legal, non-conforming corner lot. This set of special circumstances are a rarity within the City.
4. The change in the nature of the lot was not a result of actions taken by owners of the home at 290 East 600 North and was therefore not self-imposed.
5. The non-conforming nature of the west setback of the home, a circumstance created by forces external to the property owner, created an unreasonable hardship with respect to the ability to add to the home in a rational manner. The ability to expand one’s home, in a reasonable manner and in accordance with the required setbacks, is a fundamental property right that was taken from the homeowner through no fault of their own.
6. The owner does not gain any economic advantage through the granting of the variance. The status quo is restored.
7. The granting of the variance serves the public interest when a fundamental property right, removed from the property by external forces, is restored to the property. The restoration does not come at the cost of negatively effecting the general plan, does not conflict with the spirit of the zoning ordinance, and results in a fair and just restoration of a previously held right.
8. The second floor addition that extends 3’ (4’ with the eave) into the setback from 250 East is an allowable projection into the front yard setback.

**Attachment 1**

**Utah Code 10-9a-702. Variances.**

- (1) *Any person or entity desiring a waiver or modification of the requirements of a land use ordinance as applied to a parcel of property that he owns, leases, or in which he holds some other beneficial interest may apply to the applicable appeal authority for a variance from the terms of the ordinance.*
- (2) (a) *The appeal authority may grant a variance only if:*
  - (i) *literal enforcement of the ordinance would cause an unreasonable hardship for the applicant that is not necessary to carry out the general purpose of the land use ordinances;*
  - (ii) *there are special circumstances attached to the property that do not generally apply to other properties in the same zone;*
  - (iii) *granting the variance is essential to the enjoyment of a substantial property right possessed by other property in the same zone;*
  - (iv) *the variance will not substantially affect the general plan and will not be contrary to the public interest; and*
  - (v) *the spirit of the land use ordinance is observed and substantial justice done.*
- (b) (i) *In determining whether or not enforcement of the land use ordinance would cause unreasonable hardship under Subsection (2)(a), the appeal authority may not find an unreasonable hardship unless the alleged hardship:*
  - (A) *is located on or associated with the property for which the variance is sought; and*
  - (B) *comes from circumstances peculiar to the property, not from conditions that are general to the neighborhood.*
- (ii) *In determining whether or not enforcement of the land use ordinance would cause unreasonable hardship under Subsection (2)(a), the appeal authority may not find an unreasonable hardship if the hardship is self-imposed or economic.*
- (c) *In determining whether or not there are special circumstances attached to the property under Subsection (2)(a), the appeal authority may find that special circumstances exist only if the special circumstances:*
  - (i) *relate to the hardship complained of; and*
  - (ii) *deprive the property of privileges granted to other properties in the same zone.*
- (3) *The applicant shall bear the burden of proving that all of the conditions justifying a variance have been met.*
- (4) *Variances run with the land.*
- (5) *The appeal authority may not grant a use variance.*
- (6) *In granting a variance, the appeal authority may impose additional requirements on the applicant that will:*
  - (a) *mitigate any harmful affects of the variance; or*
  - (b) *serve the purpose of the standard or requirement that is waived or modified.*



MAPLETON CITY CORPORATION  
**VARIANCE APPLICATION**

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**Applicant Information**

Applicant: Grant & Marci Murdoch Phone #: 801-322-10591  
Address: 270 E. 600 N. City, State, Zip: Mapleton UT 84644  
Email: gmrrroofing@hotmail.com Project Parcel#: 26:0104:0330  
Project Location: 270 E 600 N Mapleton  
Variance Request: Mapleton City Code 18.48.050 (c) and  
18.48.050 (e). Please see attached cover letter  
Applicant's Signature: Marci Murdoch Date: 9/9/16  
(property owner or authorized agent)

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**Submittal Requirements**

- Cover letter describing the variance to include:
  - Code sections for which the variance is being requested;
  - A description of how the requested variance complies with the 5 standards required for approving a variance (see attached)
- Site Plan showing lot lines, location of existing and proposed structures.
- If the variance is for height, dimensioned (standard scale) drawings of the proposed structure including floor plans and elevations.
- Plans shall include one (1) 24" x 36" copy, one (1) 11" X 17" copy, and a CD with the PDF drawings.

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**Staff Use Only**

Fees: 175<sup>00</sup> Date: 9-9-16 Application #: VA-16-01  
Assigned Staff Member: \_\_\_\_\_ Action: \_\_\_\_\_ Date of Action: \_\_\_\_\_  
Final Decision Maker: PC  CC

September 9, 2016  
Via Hand Delivery

Mapleton City Corporation  
125 West 400 North  
Mapleton, UT 84664

Re: Variance Application

To Whom It May Concern:

Please see the attached Mapleton City Variance Application, two sets of required plans including a proposed site plan and CD for an addition to our property located at 290 East 600 North, Mapleton.

We are requesting a variance according to Mapleton City Code 18.48.050(e). The new development directly South and East of our property included a new road which lies about 17 feet from our property line and made our lot a corner lot. Though this road was approved by Mapleton City previously, it is our understanding that we are still required to request a variance in regards to not meeting the 30' side yard, corner lot requirement.

We are also requesting a variance according to Mapleton City Code 18.48.050(c). Our existing home already does not meet the 30' front requirement from the road.

We have reviewed the Mapleton Standards for Approval of Variances and believe our request complies. If you have any questions, please contact Grant at #801-362-6591 or by email [gmrroofing@hotmail.com](mailto:gmrroofing@hotmail.com).

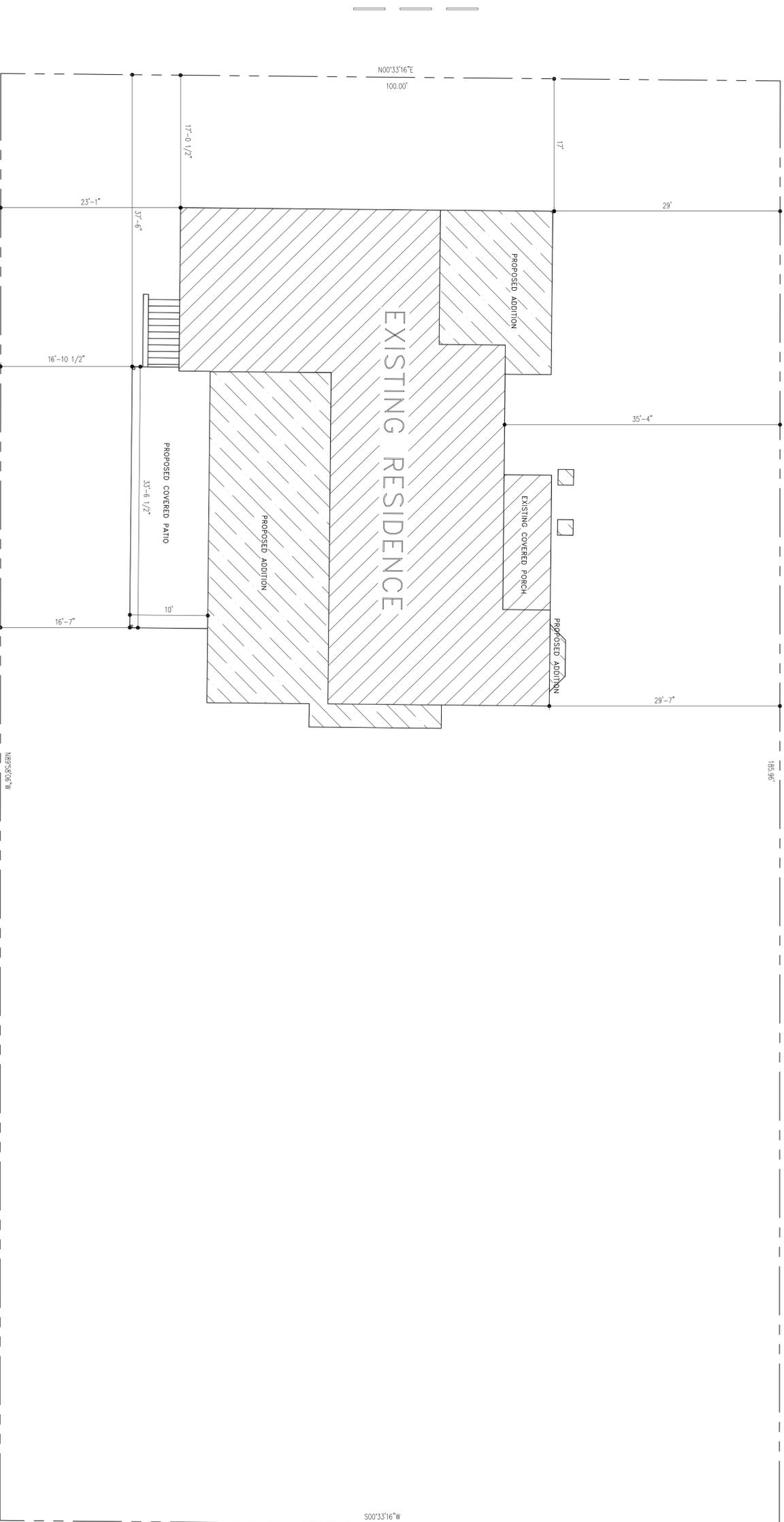
We appreciate your attention to this matter.

Sincerely,



Marci Murdoch

600 NORTH



59428.06'E  
185.56'

185.56'  
N88°30'6\"/>

500°33'16\"/>  
100.00'

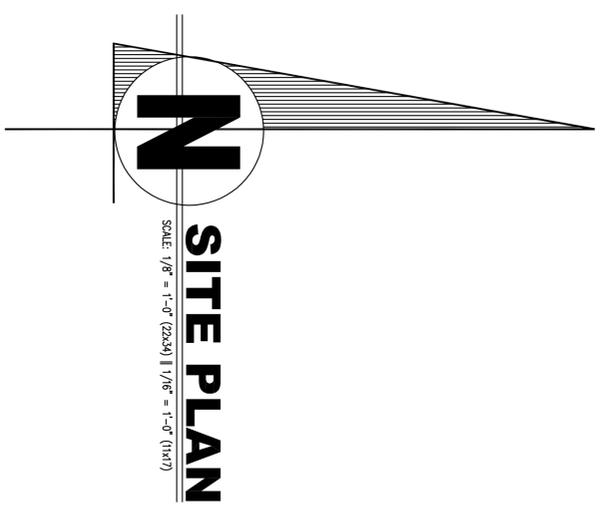
CURVE TABLE					
NO.	RADIUS	LENGTH	CHORD DIST.	CHORD BRG.	DELTA
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-	-	-	-	-	-
-	-	-	-	-	-
-	-	-	-	-	-

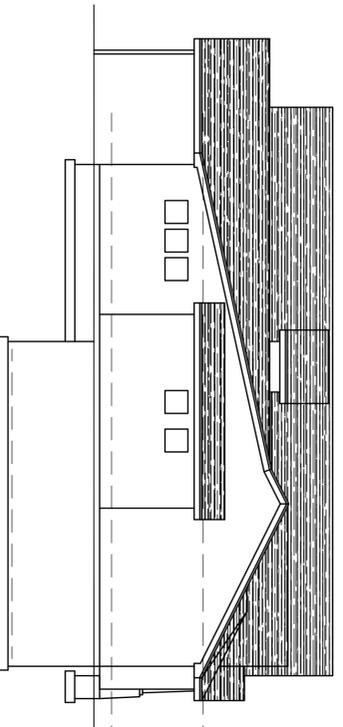
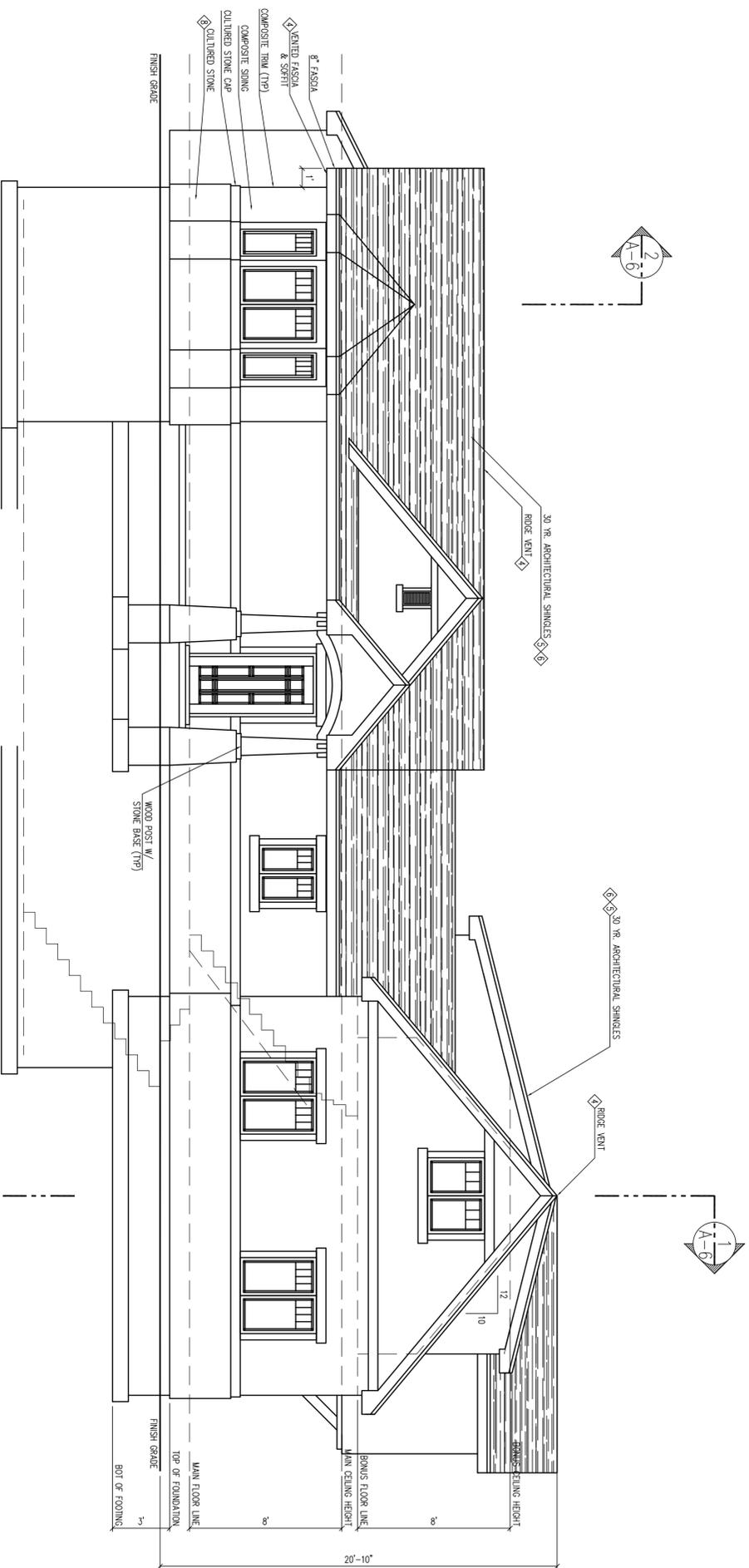
LOCATION	
CITY	WABEYTON
TRACT	---
PLAT	-
LOT	-
ADDRESS	--- 600 NORTH

- NOTES
1. LOT TO BE GRABED SHOW THAT PERMANCE WILL NOT BRAN ONTO ADJACING LOTS.
  2. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SITE WORK (IE EXCAVATION, BODIFELL GRADE, COMPACTION, ETC.) ALL MARK MUST BE IN ACCORD AND LOCAL CODES.

**PROJECT NAME:**  
SUS15-----

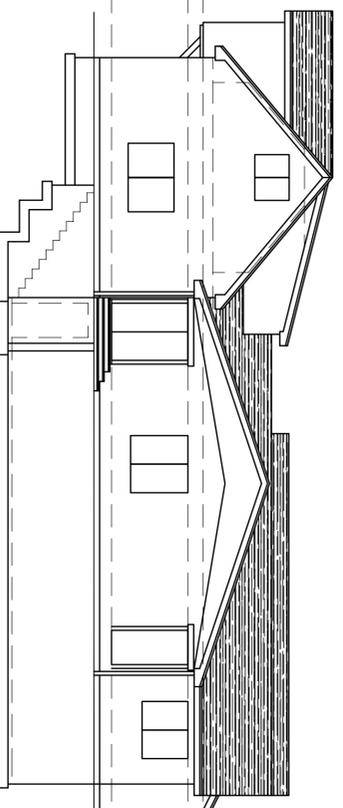
**SD.1**





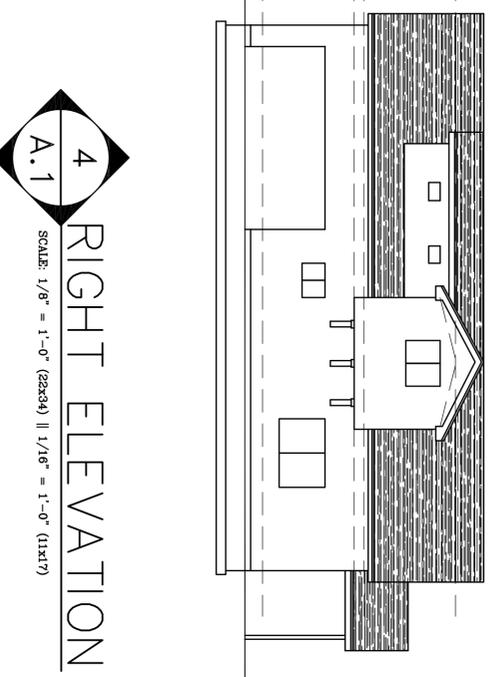
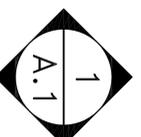
**2 LEFT ELEVATION**

SCALE: 1/8" = 1'-0" (22x34) || 1/16" = 1'-0" (11x17)



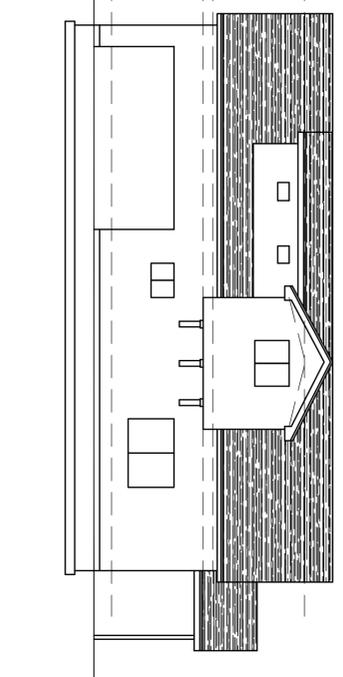
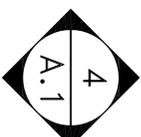
**1 FRONT ELEVATION**

SCALE: 1/4" = 1'-0" (22x34) || 1/8" = 1'-0" (11x17)



**4 RIGHT ELEVATION**

SCALE: 1/8" = 1'-0" (22x34) || 1/16" = 1'-0" (11x17)



**3 REAR ELEVATION**

SCALE: 1/8" = 1'-0" (22x34) || 1/16" = 1'-0" (11x17)



- GENERAL & REFER NOTES:**
1. DRAWINGS ARE INCOMPLETE WITHOUT ATTACHED ENGINEERING SPECS.
  2. ALL EXTERIOR DOOR AND WINDOW STYLES SHALL BE APPROVED BY OWNER OR CONTRACTOR AS APPLICABLE.
  3. ALL EXTERIOR TREATMENTS SHALL BE APPROVED BY OWNER OR CONTRACTOR AS APPLICABLE.
  4. PROVIDE ATTIC VENTILATION IN ACC. SEC. R906.
  5. ROOF MATERIAL AND APPLICATION SHALL BE IN ACC. SEC. R905.
  6. PROVIDE FLASHING IN ACC. AS FOLLOWS: ARCHITECTURAL SHINGLES - R905.2.8 CEDAR SHAKES - R905.8.8
  7. PROVIDE 3/4" HIGH RAILING W/ BAULSTER PATTERN SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. (SEE ACC. SEC. R302)
  8. APPLY STONE IN ACC. SEC. R703.7
  9. PROVIDE ICE AND WATER SHIELD AT ROOF EAVES AND VALLES. PROVIDE SCHED. 40X4 L-STRIPS FOR EXTERIOR WALLS. PROVIDE SCHED. 40X4 L-STRIPS FOR ARCHITECTURAL SHINGLES - R905.2.7 CEDAR SHAKES - R905.8.3
  10. PROVIDE ALL EXTERIOR OPENINGS WITH FLASHINGS. COUNTERT FLASHING AND CAULKING WITH THE PROPER TYPE OF SEALANT. SEALING AND INSTALLATION OF WINDOWS MUST BE IN ACC. SEC. R702.1
  11. PROVIDE METAL FLASHING OR 15 LB FELT BETWEEN WOOD EXTERIOR WALL AND CONCRETE SLABS, PORCH CAPS, DECKS, ETC.
  12. APPLICABLE CODE - 2003 INTERNATIONAL RESIDENTIAL CODE.
  13. SEE STRUCTURAL CALCULATIONS FOR DESIGN VALUES.
  14. GENERAL CONTRACTOR AND SUB CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO DESIGNER PRIOR TO CONSTRUCTION.
  15. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SITE WORK (I.E. EXCAVATION, BACKFILL, GRADE, COMPACTING, ETC.) ALL WORK MUST BE IN ACC. SEC. EDITION OF INTERNATIONAL RESIDENTIAL CODE AND ALL LOCAL CODES.
  16. GENERAL CONTRACTOR/OWNER IS RESPONSIBLE TO OBTAIN MEC CHECK AND GAS PIPING DIAGRAM.

DRAWING INDEX	
A.1	ELEVATIONS
A.2	MAIN FLOOR PLAN
A.3	BONUS FLOOR PLAN
A.4	BASEMENT FLOOR PLAN
A.5	FOOTING & FOUNDATION PLAN
A.6	CROSS SECTION
E.1	MAIN FLOOR ELECTRICAL
E.2	BONUS FLOOR ELECTRICAL
F.1	MAIN FLOOR FRAME PLAN
F.2	BONUS FLOOR/LOW ROOF FRAME PLAN
F.3	ROOF FRAME PLAN
S.1	GENERAL STRUCTURAL NOTES
S.2	GENERAL STRUCTURAL NOTES (CONT.)
S.3	FOUNDATION DETAILS
S.4	FLOOR FRAMING DETAILS
S.5	ROOF FRAMING DETAILS
S.6	ROOF FRAMING DETAILS
S.7	ROOF FRAMING DETAILS
SD.1	SITE DESCRIPTION

**RESIDENCE FOR:**

GRANT & MARCI MURDOCH

**LOCATION:**

--- SUB., PLAT --, LOT --  
MAPLETON, UT

**DRAWN BY:**

KGW

**PROJECT NAME:**

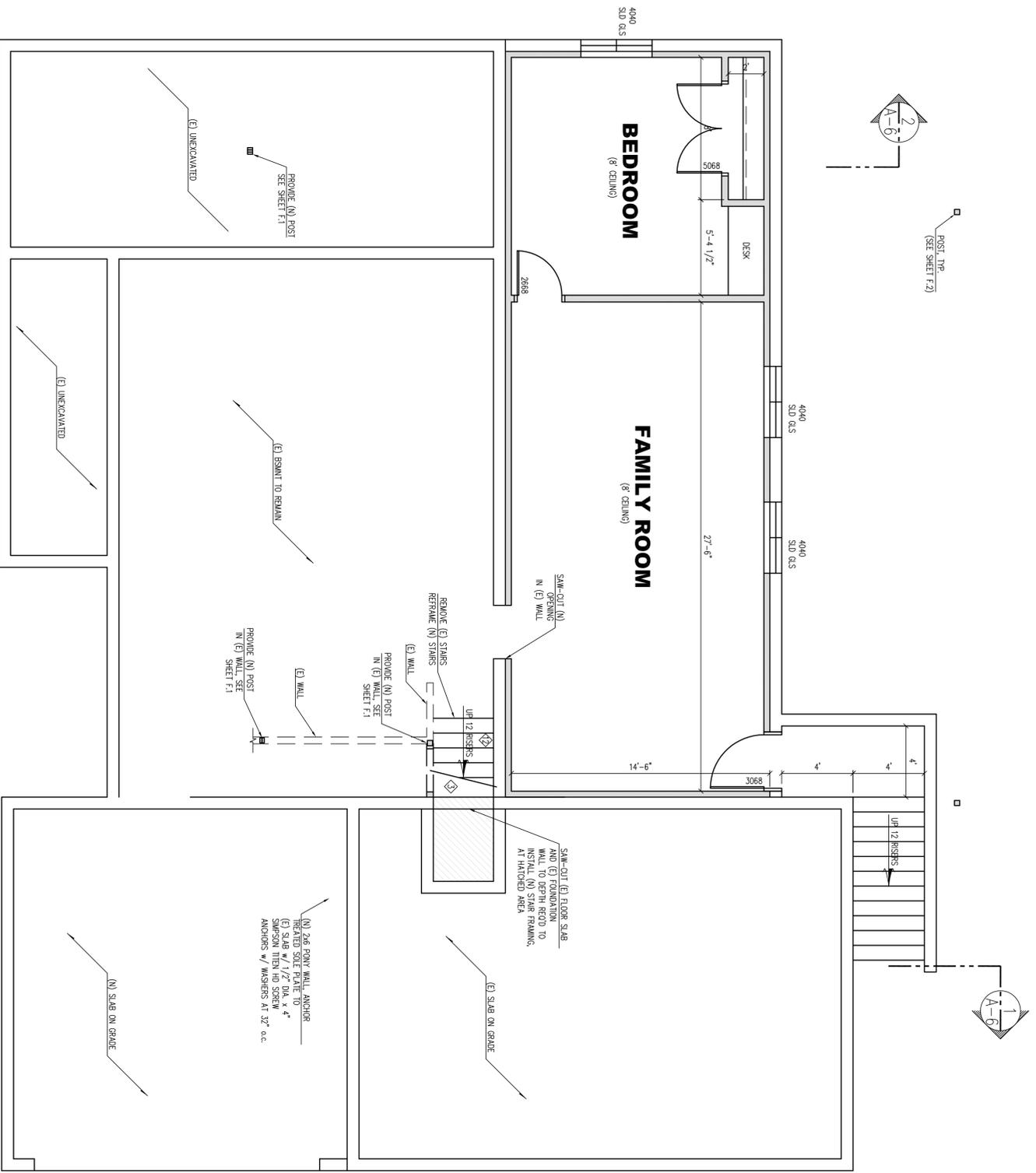
SUS150---

**DATE:**

JULY 27, 2015

DESIGNER IS NOT AN ARCHITECT OR ENGINEER.  
PLANS ARE PRELIMINARY. ALL DIMENSIONS AND  
REQUIREMENTS ON SITE PRIOR TO CONSTRUCTION.

**A.1**



**1**  
**(E) BASEMENT FLOOR PLAN**  
**A.4**

SCALE: 1/4" = 1'-0" (25x34) || 1/8" = 1'-0" (11x17)

KEY TO ELECTRICAL SYMBOLS	
	EXHAUST FAN
	CEILING FAN
	CEILING LIGHT
	PULL CHORD LIGHT
	WALL LIGHT
	RECESSED LIGHT
	FLUORESCENT LIGHT (BOX)
	220V OUTLET
	220V OUTLET (RANGE)
	OUTLET
	EXTERIOR GFI OUTLET
	GFI OUTLET
	MULTI-MEDIA
	T.V.
	SMOKE DETECTOR (WIRED IN SERIES)
	CARBON MONOXIDE (WIRED IN SERIES)
	ELECTRICAL PANEL - ELECTRICAL CONTRACTOR TO SPECIFY AMP RATING
	DOOR BELL CHIME
	MOTOR FOR ATTIC TUB

KEY TO HEATING SYSTEM	
	WARM AIR REGISTER
	COOL AIR RETURN
	THERMOSTAT

**NOTES**

- ALL ELECTRICAL FIXTURES AND THEIR PLACEMENTS ARE TO BE VERIFIED WITH OWNER PRIOR TO INSTALLATION.
- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL CODE, NATIONAL ELECTRICAL CODE AND ALL LOCAL CODES.
- ALL BRANCH CIRCUIT THAT SUPPLY 125-1011 SINGLE PHASE, 15- AND 20- AMPERE RECEPTACLE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS TO BE PROTECTED BY AN AFCI - FAULT CIRCUIT INTERRUPTER.

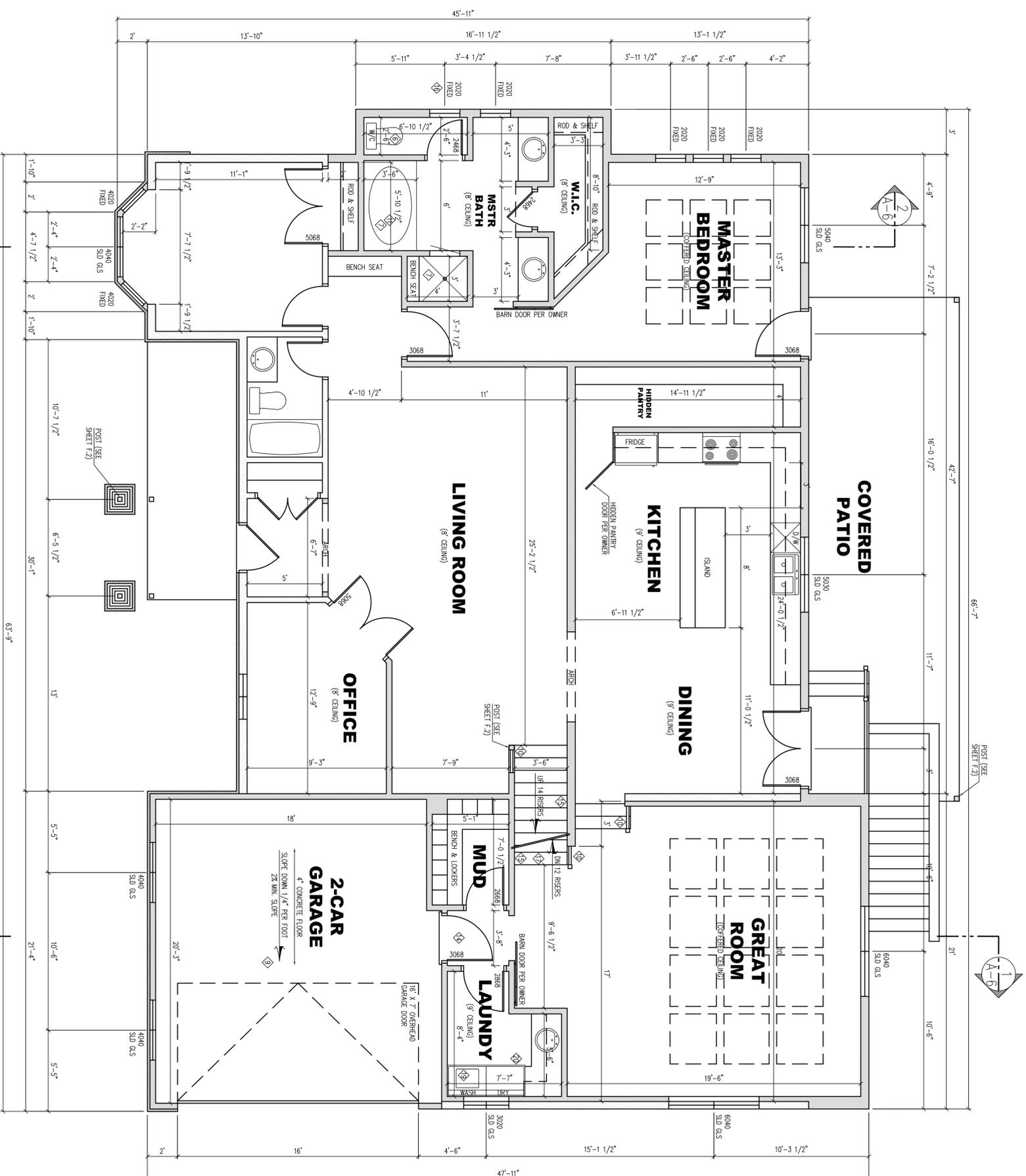
- GENERAL & REFERED NOTES**
1. ALL PLUMBING WALLS ARE DIMENSIONED TO FINISHED WALLS AND ARE 6" / 2".
  2. ALL INTERIOR WALLS ARE DIMENSIONED TO FINISHED WALLS AND ARE 4 1/2".
  3. PROVIDE 1/4" GIP BOARD ON WALLS & CEILING BELOW STAIRS IAW RC SEC. 1831.2.2
  4. PROVIDE ELEC. PANEL SIZED ELECTRICAL CONTRACTOR, CONNECT GROUND WIRE TO ALL METAL PIPES OR CONCRETE ENCASED ELECTRODE IAW 99 N.E.C. 250-50 (C)
  5. PROVIDE SEISMIC STRAPS & EXPANSION TANK FOR WATER HEATERS.
  6. PROVIDE OUTSIDE COMPENSIBLE AIR TO ALL GAS APPLIANCES.
  7. 0" CLEARANCE GAS FIREPLACE INSTALL PER MANUF. SPEC. PROVIDE GAS SHUTOFF VALVE WITHIN 6' OF FIREPLACE IAW RC SEC. 6240.
  8. PROVIDE SMOKE DETECTOR WIRED IN SERIES WITH BATTERY BACKUP.
  9. ALL TOILETS SHALL BE 1.6 GPM IAW SEC. P2903 IAW RC SEC. P2903
  10. ALL TUBS & SHOWERS SHALL HAVE 25 GPM HEADS IAW RC SEC. P2903
  11. PROVIDE 3/4" HIGH RAILING WITH GUARD PATTERN SLASH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH IAW RC SEC. P2903
  12. PROVIDE CONTINUOUS HORIZONTAL IAW RC SEC. R315.6 (SEE DETAIL 4 ON SHEET A.6)
  13. BEARING WALL (SEE DETAIL \_ ON SHEET A.6)
  14. PROVIDE 3/4" DEEP WINDOW WELL WITH LADDER AS RECTO.
  15. ALL EXPOSED WINDOWS IN SLEEPING AREAS ARE TO BE INSTALLED AT MINIMUM SILL HEIGHT OF NO MORE THAN 44" ABOVE FLOOR.
  16. ALL STILES AND TYPES OF INTERIOR FINISH (I.E. DOORS, HARDWARE, WINDOWS, PAINT, FLOOR COVERINGS & APPLIANCES ETC.) SHALL BE AS APPROVED BY OWNER OR CONTRACTOR AS APPROXIMATE.

**PROJECT NAME:**  
SUS15-----

**SQUARE FOOTAGE:**  
N/A

A.4

- GENERAL & REFERRED NOTES:**
1. ALL EXTERIOR WALLS ARE 2X6 STUDS @ 16" O.C. W/ R-19 INSULATION BETWEEN.
  2. ALL FINISHING WALLS ARE DIMENSIONED TO FINISHED WALLS AND ARE 6 1/2".
  3. ALL INTERIOR WALLS ARE DIMENSIONED TO FINISHED WALLS AND ARE 4 1/2".
  4. BRICK AND STONE ARE DIMENSIONED AT 4", ADJUST AS REQUIRED TO 2" FOR CULTURED STONE (VERIFY W/ MANUFACTURER).
  5. ALL GRESS WINDOWS IN SLEEPING AREAS ARE TO HAVE A FINISHED SILL HEIGHT OF NO MORE THAN 44" ABOVE FLOOR.
  6. ALL TOILETS SHALL BE 1.6 GPM LAW RC SEC. P2903 LAW RC SEC. P2903
  7. ALL TUBS & SHOWERS SHALL HAVE 25 GPM HEADS
  8. ALL ROSE BERG MUST BE BACK FLOW PROTECTED.
  9. SHEET ROCK ALL WALLS WITH MINIMUM 5/8" GYP BOARD ON GARAGE SIDE AND SHEET ROCK ALL CEILINGS & BEAMS WITH MINIMUM (2) LAYERS 5/8" GYP BOARD.
  10. PROVIDE 3/4" HIGH RAINING WITH CURB PATTERNS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH, NO HORIZONTAL RAIS ARE ALLOWED (SEE RC SEC. R312).
  11. PROVIDE LETTED TUB MOTOR ACCESS.
  12. PROVIDE OUTSIDE COMBUSTIBLE AIR TO ALL GAS APPLIANCES.
  13. 0" CLEARANCE GAS FIREPLACE INSTALL PER MANUF. SPEC. PROVIDE GAS SHUTOFF VALVE WITHIN 6" OF FIREPLACE PER RC SEC. G2420
  14. PROVIDE 20 MIN. FIRE RATED DOOR WITH SELF CLOSER.
  15. PROVIDE CONTINUOUS HORIZONTAL LAW RC SEC. R315.6 (SEE DETAIL 1 ON SHEET A.6).
  16. PROVIDE SAFETY GLAZING LAW RC SEC. R308
  17. PROVIDE MIN. 1/2" GYP BOARD ON WALLS & CEILING BELOW STAIRS LAW RC SEC. F314.9
  18. BEARING WALL (SEE DETAIL 1 ON SHEET A.6)
  19. PROVIDE DRAIN PAN FOR WASHER.
  20. VENT DRYERS TO OUTSIDE LAW RC SEC. G2429 OR PER MANUFACTURER'S SPECS.
  21. ALL STILES & TYPES OF INTERIOR FINISH (IE DOORS, HANDRAILS, WINDOWS, PAINT, FLOOR COVERINGS, ETC.) SHALL BE SPECIFIED BY THE DECISION OF OWNER OR CONSULTOR AS APPLICABLE.
  22.  DENOTES KEY WALL CONSTRUCTION.  DENOTES DRYWALL WALLS TO REMAIN.



**1 MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0" (25x34) || 1/8" = 1'-0" (11x17)

MARK	SHEATHING	BOTH SIDES	NAILS	EDGE SPACING	FIELD SPACING	NOTES
SW9	7/16" OSB	NO	8d	6" OC	12" OC	1-3
SW11	7/16" OSB	NO	8d	4" OC	12" OC	1-3
SW13	7/16" OSB	NO	8d	3" OC	12" OC	1-4

- NOTES:**
1. ALL SHEAR WALL FRAMING SHALL BE 2X U.N.O. FRAMING MAY BE WIDER THAN SPECIFIED. EXCEPT BOTTOM PLATES ON WOOD SHALL BE PER ANCHOR BOLTS AND SILL PLATE SCHEDULE ON SHEET A.5.
  2. PROVIDE (2) FULL HEIGHT END STUDS (MIN.) EACH END OF SHEAR WALL U.N.O. ON PLAN OR DETAILS. STITCH NAIL STUDS W/ (2) 16d AT 6" o.c. STAGGERED. AT (3) 2x4 END STUDS FASTEN W/ (2) 16d AT 4" o.c. STAGGERED.
  3. SHEAR WALL PANELS MAY BE INSTALLED EITHER HORIZ. OR VERT. U.N.O. ON PLAN OR WHERE SPECIFICALLY REQ'D. BY THE MFR. ALL PANEL EDGES SHALL BE CENTERED ON AND FASTENED DIRECTLY TO STUDS AND SOLID BLOCKING U.N.O. FASTENERS SHALL BE PLACED NOT LESS THAN 3/8" FROM PANEL EDGE AND SHALL BE FIRMLY DRIVEN INTO FRAMING MEMBERS. SUBSTITUTION OF ALT. NAILS OR STAPLES NOT PERMITTED W/O PRIOR WRITTEN APPROVAL OF E.O.R.
  4. A.B. SIZE AND SPACING SHALL BE PER ANCHOR BOLTS AND SILL PLATE SCHEDULE ON SHEET A.5. SEE G.S.N. FOR ALLOWABLE A.B. SUBSTITUTIONS.
  5. SHEAR WALL LENGTHS NOTED ON PLAN ARE MINIMUM LENGTHS. WHERE "STACKED" SPECIFIED ON PLAN, MIN. SHEAR WALL LENGTH SHALL MATCH SHEAR WALL BELOW AND HOLLOWAYS WHERE SPECIFIED, SHALL BE FASTENED TO SHEAR WALL END STUDS/POSTS BELOW.
  6. BOTTOM PLATE WALLS SHALL BE 16d COMMONER 16d BOX. STAGGER BOTTOM PLATE FASTENERS AT ELEVATED SHEAR WALLS.
  7. PROVIDE SOLID 2X BLOCKING AND EDGE NAILING AT EDGES OF EXHAUST VENT IN SHEAR WALL.
  8. SEE DETAIL 207 FOR FRAMING REQUIREMENTS AT ADJOINING SHEAR WALL PANEL EDGES.
  9. ALL SHEAR WALL BOTTOM PLATE ANCHOR BOLTS AND BOLT-TYPE SUBSTITUTIONS (THREADED CONCRETE ANCHORS, ETC.) SHALL HAVE A MIN. 0.229"x3"x3" PLATE WASHER (ONLY REQUIRED AT SHEAR WALLS). IF STANDARD CUT WASHER IS PLACED BETWEEN PLATE WASHER AND NUT, THE HOLE IS PLATE WASHER MAY BE DIAGONALLY SLOTTED UP TO 1.3x4" W/ WIDTH UP TO 3/16" LARGER THAN BOLT DIA.
  10. ALL PLYWOOD SHEAR WALL SHEATHING SHALL BE INSTALLED PRIOR TO FRAMING PERPENDICULAR WALLS AND POPUPS.

MARK	ANCHOR	NOTES
A	STH08(R)	3 (1,2)
B	STH09(R)	3
C	STH10(R)	3
D	H015 (BASED OFF SILL)	5

- NOTES:**
1. ALL ANCHORS ARE SIMPSON STRONG-TIE.
  2. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  3. USE RIM JOIST MODELS (R2) WHEN INSTALLING AT RIM BOARD OR RIM JOIST LOCATIONS.
  4. VERTICAL FLOOR TO FLOOR INSTALLATION, NAILS NOT REQUIRED AT RIM BOARD & SILL PLATE.
  5. REFER TO G.S.N. FOR ANCHORAGE REQUIREMENTS.

**PROJECT NAME:**  
SUS150

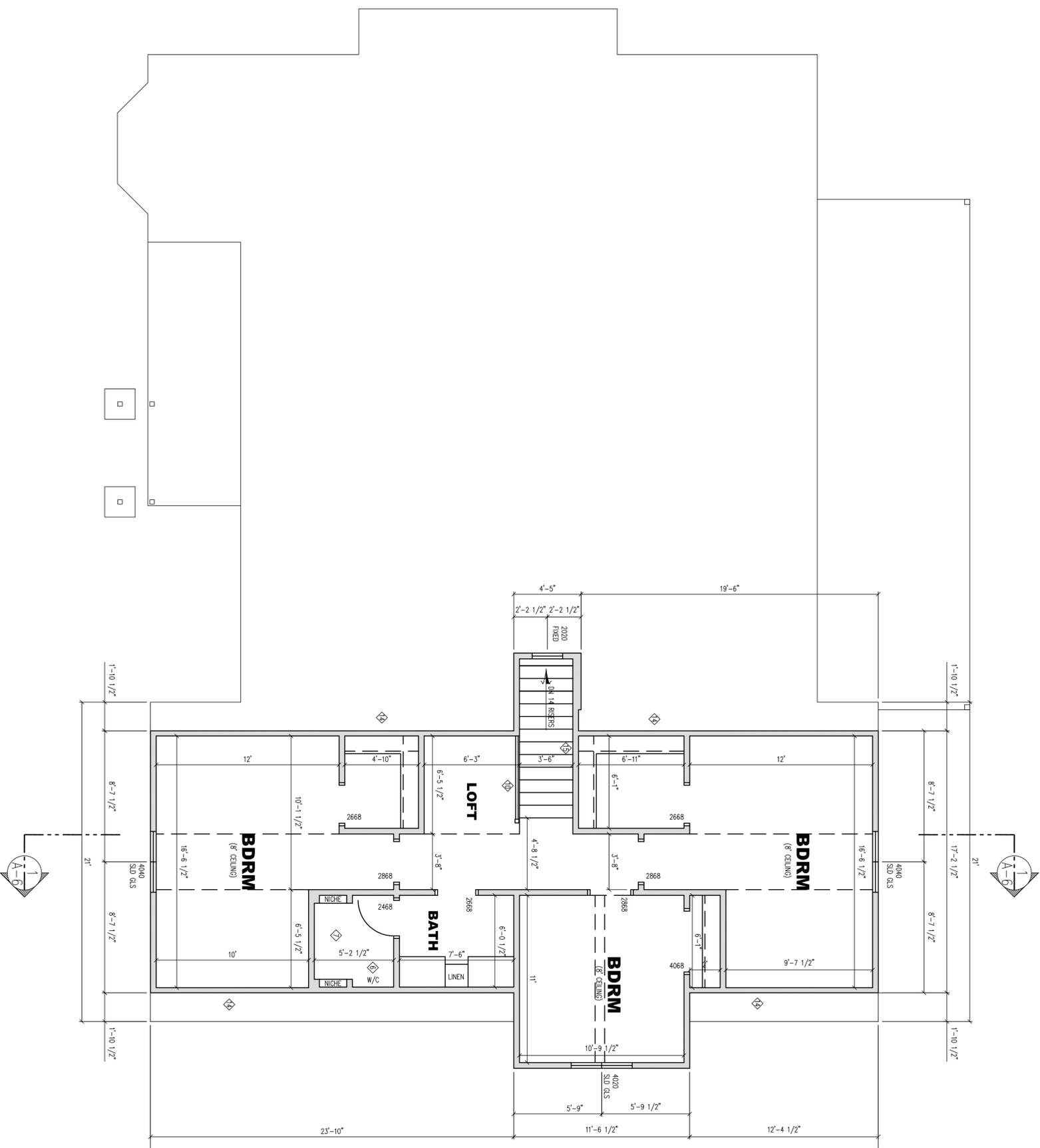
**SQUARE FOOTAGE:**  
(E) 1066/(N) 900

**A.2**

1
A.3

# BONUS FLOOR PLAN

SCALE: 1/4" = 1'-0" (25x34) || 1/8" = 1'-0" (11x17)



- GENERAL & KEYED NOTES:**
1. ALL EXTERIOR WALLS ARE 2X6 STUDS @ 16" O.C. W/ R-19 INSULATION BETWEEN.
  2. ALL EXTERIOR WALLS ARE DIMENSIONED TO FINISHED WALLS AND ARE 6 1/2".
  3. ALL INTERIOR WALLS ARE DIMENSIONED TO FINISHED WALLS AND ARE 4 1/2".
  4. BRICK AND STONE ARE DIMENSIONED AT 4", ADJUST AS REQUIRED TO 2" FOR OUTLETTED STONE (VERIFY W/ MANUFACTURER).
  5. ALL EGRESS WINDOWS IN SLEEPING AREAS ARE TO HAVE A FINISHED SILL HEIGHT OF NO MORE THAN 44" ABOVE FLOOR.
  6. ALL TOILETS SHALL BE 1.6 GPM IAW IRC SEC. P2903 IAW IRC SEC. P2903
  7. ALL TUBS & SHOWERS SHALL HAVE 25 GPM HEADS PER MANUFACTURER'S SPECS.
  8. PROVIDE 3/8" HIGH RAILING WITH GUARD PATTERN SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH NO HORIZONTAL RAILS ARE ALLOWED (SEE IRC SEC. R302).
  9. PROVIDE LETTID TUB MOTOR ACCESS.
  10. PROVIDE OUTSIDE COMBUSTIBLE AIR TO ALL GAS APPLIANCES.
  11. "T" CLEARANCE GAS FIREPLACE INSTALL PER MANUF. SPEC. PROVIDE GAS SHUTOFF VALVE WITHIN 6" OF FIREPLACE IAW IRC SEC. G2420
  12. PROVIDE 2" x 3" ATIC ACCESS & LATCHED ATIC ACCESS AS SHOWN (SEE IRC SEC. R807.1)
  13. PROVIDE CONTINUOUS HANDRAIL IAW IRC SEC. R315.6 (SEE DETAIL 4 ON SHEET A.6)
  14. PROVIDE SAFETY GLAZING IAW IRC SEC. E308
  15. PROVIDE 1/2" GYP BOARD ON WALLS & CEILING BELOW STAIRS IAW IRC SEC. R314.8
  16. BEARING WALL (SEE DETAIL \_ ON SHEET A.6)
  19. ALL STILES AND TYPES OF INTERIOR FINISH (I.E. DOORS, HARDWARE, WINDOWS, PAINT, FLOOR COVERINGS & APPLIANCES ETC.) SHALL BE DETERMINED BY OWNER OR CONTRACTOR AS APPLICABLE.

**PROJECT NAME:**  
SUS15-----

**SQUARE FOOTAGE:**  
885

A.3